



COLD SPRING PLANNING & ZONING
December 11, 2024
6:30 PM

1. PLEDGE TO THE FLAG, ROLL CALL, AND EXIT INSTRUCTIONS

2. APPROVAL OF MINUTES

- November 21, 2024 Special P&Z Meeting

3. PUBLIC HEARING ON SCHEDULED ITEMS

- PZ-24-043
 - Applicant: McBride Dale Clarion as Zoning Consultant for Kroger Limited Partnership I & Vision ESP LLC
 - Location: Martha Layne Collins Boulevard and Salmon Pass, Cold Spring
 - Requests: Zone map amendment for approximately 20 acres from NSC (Neighborhood Shopping Center) & R-3 (Residential-Three) to MUPD (Mixed Use Planned Development).
- PZ-24-044
 - Applicant: McBride Dale Clarion as Zoning Consultant for Kroger Limited Partnership I & Vision ESP LLC
 - Location: Martha Layne Collins Boulevard and Salmon Pass, Cold Spring
 - Requests: Stage I and Stage II site development plan for a new Kroger Marketplace Store with a wine and spirit store and a conditional use permit for a fuel center.

4. NEW BUSINESS

- Approval of 3.5 continuing education hours for Greg Hizer

5. UNFINISHED BUSINESS

6. COMMENTS/REQUESTS TO THE COMMISSION

7. ADJOURNMENT



Planning & Zoning Minutes

November 21, 2024

The special meeting of the Cold Spring Planning & Zoning Commission was called to order by Chairman Foulks at 5:30pm followed by the Pledge of Allegiance.

Roll Call:

- Present: Sam Conner, Mike Forge, Mike Foulks, Greg Hizer, Mark King, Jerry Schmidt, Marg Trunick, City Clerk Robin Morency, and City Attorney Brandon Voelker.

Minute Approval:

- The September 11, 2024 meeting minutes were reviewed by all. Greg Hizer made a motion to approve, second by Sam Conner. All were in favor. **Motion passed**

Public Hearing:

- Public Hearing on City of Cold Spring Council's request for consideration of amending the Cold Spring Zoning Ordinance to require Kentucky Highway Transportation Cabinet approval prior to any application utilizing a roadway of the Commonwealth of Kentucky. Brandon Voelker reviewed an email from a developer expressing concerns about the wording of the text. The developer believes the current phrasing could hinder progress on projects within the city. The developer suggested that the city require an executed Memorandum of Understanding with KYTC, agreeing on the scope of the traffic study for Stage I submittal and KYTC approved traffic study for Stage II. Joe Kramer from Cardinal Engineering addressed the commission to provide insight into the development process from a developer's perspective. Mr. Kramer expressed his agreement with the suggestion to require a Memorandum of Understanding, emphasizing the importance of the city having a voice in meetings with KYTC and the developer from the beginning stages. Mr. Kramer requested that the commission table the vote to allow for further research and the development of language that could address the concerns of all parties involved. Earl Woeste (property owner) feels that the proposed language will extend the process for developers, he agrees that this should be tabled so that the city can improve the language. Mark Stoeber noted that this issue has been ongoing in the city, and he was unaware that the city could engage in discussions with the developer and KYTC. Brandon Voelker advised that the commission take their time and get this right, with all the information. Greg Hizer is not sure that a MOU will fulfill what they are trying to accomplish. Mike Foulks made a motion to table the public hearing, second by Greg Hizer. All were in favor. **Motion passed.** Brandon Voelker will contact the engineer to gather additional information.

Unfinished Business:

- Discussion and Recommendation regarding proposed text amendments to the MUPD (Mixed Use Planned Development) zone, no public hearing, two priors conducted: Brandon Voelker presented revised text, incorporating feedback from previous discussions, and reviewed the updated items with the commission. Greg Hizer made a motion to approve the recommended text amendments to the MUPD zone, second by Mike Forge. Roll call vote shows 7 yeses and 0 noes. **Motion passed.**

Comments/Requests to the Commission: None

Adjournment:

- Greg Hizer made a motion to adjourn the meeting at 6:12pm, second by Sam Conner. All were in favor. **Motion passed.**



Planning & Zoning Minutes
November 21, 2024

Approved:

Chairman:

City Clerk:

To view the meeting agenda, visit: <https://coldspringky.gov/departments/planning-and-zoning/planning-and-zoning-agendas/>

To view the meeting video, visit: <https://coldspringky.gov/planning-and-zoning-meeting-videos/>



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November 26, 2024

Mr. Mike Foulks, Chair
Cold Spring Planning & Zoning Commission
5694 East Alexandria Pike
Cold Spring, KY 41076

Mr. Foulks,

The Campbell County staff respectfully submits the attached recommendation for review. A public hearing is scheduled before the Cold Spring Planning and Zoning Commission on December 11, 2024 at 6:30 PM at 5694 East Alexandria Pike, Cold Spring, KY 41076.

FILE NUMBER: PZ-24-043
APPLICANT: MCBRIDE DALE CLARION as Zoning Consultant for KROGER LIMITED PARTNERSHIP I & VISION ESP LLC
LOCATION: MARTHA LAYNE COLLINS BOULEVARD and SALMON PASS, COLD SPRING
REQUESTS: ZONE MAP AMENDMENT for approximately 20 ACRES from NSC & RESIDENTIAL THREE (R-3) to MUPD

FILE NUMBER: PZ-24-044
APPLICANT: MCBRIDE DALE CLARION as Zoning Consultant for KROGER LIMITED PARTNERSHIP I & VISION ESP LLC
LOCATION: MARTHA LAYNE COLLINS BOULEVARD and SALMON PASS, COLD SPRING
REQUESTS: STAGE I and STAGE II SITE DEVELOPMENT PLAN for a new KROGER MARKETPLACE STORE with a wine and spirit store and a conditional use permit for a fuel center

Legal notice was published in the online edition of the NKY Link Reader. Notices were mailed to adjoining and neighboring properties. A sign advertising the Planning and Zoning case was placed at the site.

NEW KROGER MARKETPLACE STORE, WINE AND SPIRIT STORE, FUEL CENTER FUTURE OUTLOT

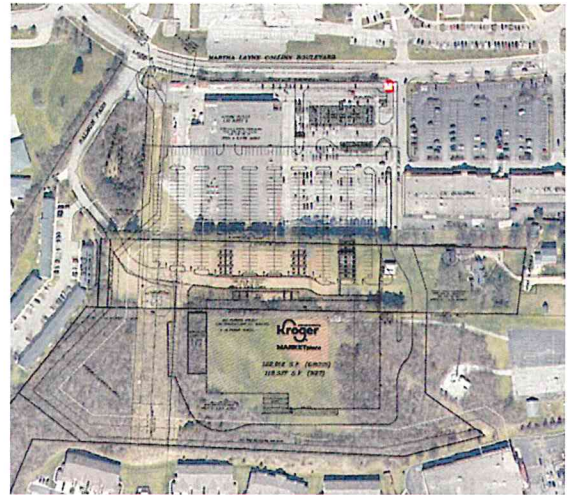


Kroger would like to develop a new Kroger Marketplace Store with a Wine & Spirits shop, and a fuel center in Cold Spring. The new Kroger, which will also include an outlot for future development, will be on the 19.7 acres that includes the current store location (70 Martha Lane Collins Boulevard) and additional acreages to the southeast. To allow the development to move forward, we are requesting a Zone Map Amendment from "R-3" and "NSC" to MUPD for 19.7 acres. Stage One and Stage Two Development Plan Review for the development is also

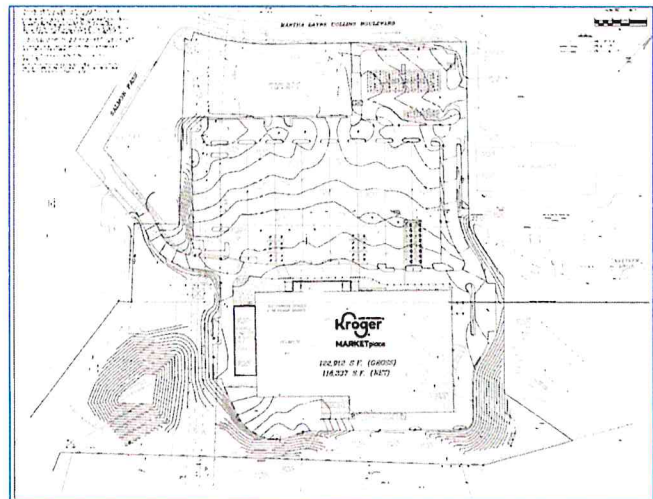
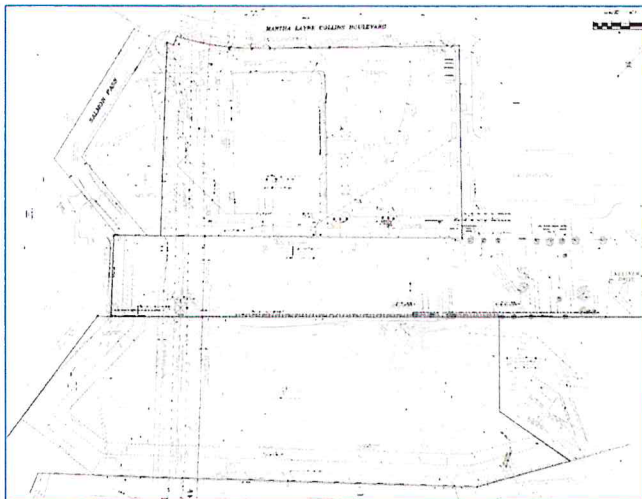
requested.

PROJECT DESCRIPTION BY APPLICANT:

Kroger has purchased or has a purchase option to buy 19.7 acres of property which includes parcels 999-99-20-372.00, 999-99-19-495.01, 999-99-18-193.01 and a portion of 999-99-19-495.00 in the City of Cold Spring. The parcels are currently zoned a mixture of "NSC" and "R-3" and have been developed with the existing Kroger store and ballfields formerly utilized by the Elks. Kroger is making a request to allow for the development of a 122,912 square foot Kroger Marketplace store, an 8,000 square foot wine and spirit store, a fuel center and an outlot for future development. The new development would feature 527 parking spaces, a pharmacy drive-through window, and 16 online shopping pickup spaces. Access to the development would be from Martha Layne Collins Boulevard and from Salmon Pass to the west.



To allow for the development to move forward, a zone map amendment is being requested from "R-3" and "NSC" to "MUPD" along with Stage One and Stage Two Development Plan approval.



The existing 60,662 square-foot Kroger store was constructed in 1988 and does not offer the variety of goods and services that Kroger customers have come to expect. A fuel center is not part of the existing development nor is there a pharmacy drive-through window. Currently, prescriptions can be obtained by a kiosk in the parking lot or a walk-up window. The online shopping has customers leaving their vehicles and obtaining orders from lockers adjacent to the store. The availability of merchandise is limited due to the limited size of the store.

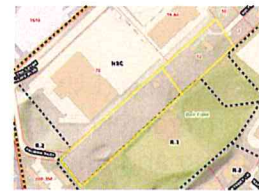
The new store will offer services such as a two-lane drive thru pharmacy window, and 16 online shopping pick up spaces which allow Kroger associates to bring online orders to the customer's vehicle. Additionally, nine pump dispensers will be available at the Kroger fuel center allowing Kroger customers to utilize fuel points with their shopping trip. The new store will also offer expansions of all departments, the creation of a Murray's Cheese section, apparel area, home good section, expanded pharmacy, the addition of fresh sushi and the inclusion of seasonal merchandise. With two pharmacy drive-through lanes and 16 online pick-up spaces, Kroger customers will be able to retrieve orders without ever leaving their vehicles. The inclusion of a Kroger fuel center at the north end of the city will be a convenience not just for Cold Spring residents, but those residing in Highland Heights or attending Northern Kentucky University. Recognizing that NKU students are an important part of the store's customer base, Kroger is proposing to continue a 5-foot-wide sidewalk on Salmon Pass into the development for students walking to the store. For those riding bikes, a total of 10 bicycle spaces will be located along the front of the building.

The proposed landscape plan meets the landscape requirements of the city, and care has been taken to create a landscape buffered to the south property line. A 109-foot setback is provided to the store, and a 44-foot setback provided to the edge of pavement. Additionally, it should be noted that there is a 15 to 20-foot grade change from the development to the adjacent townhomes. A tree inventory has been completed with all of the required replanting being indicated on the landscape plan.

Kroger is excited to bring this 35-million-dollar investment to the City of Cold Spring and anticipates that 100 full-time and part-time associates will be added. With the Kroger development, the proposed Marketplace store will bring new services and grocery options to the northern portion of Cold Spring and Highland Heights and to the students and faculty of NKU. Favorable consideration is requested for approving the application for the Zone Map Amendment, Stage 1 and Stage 2 Development Plans as proposed.

Considerations of Zone Map Amendment:

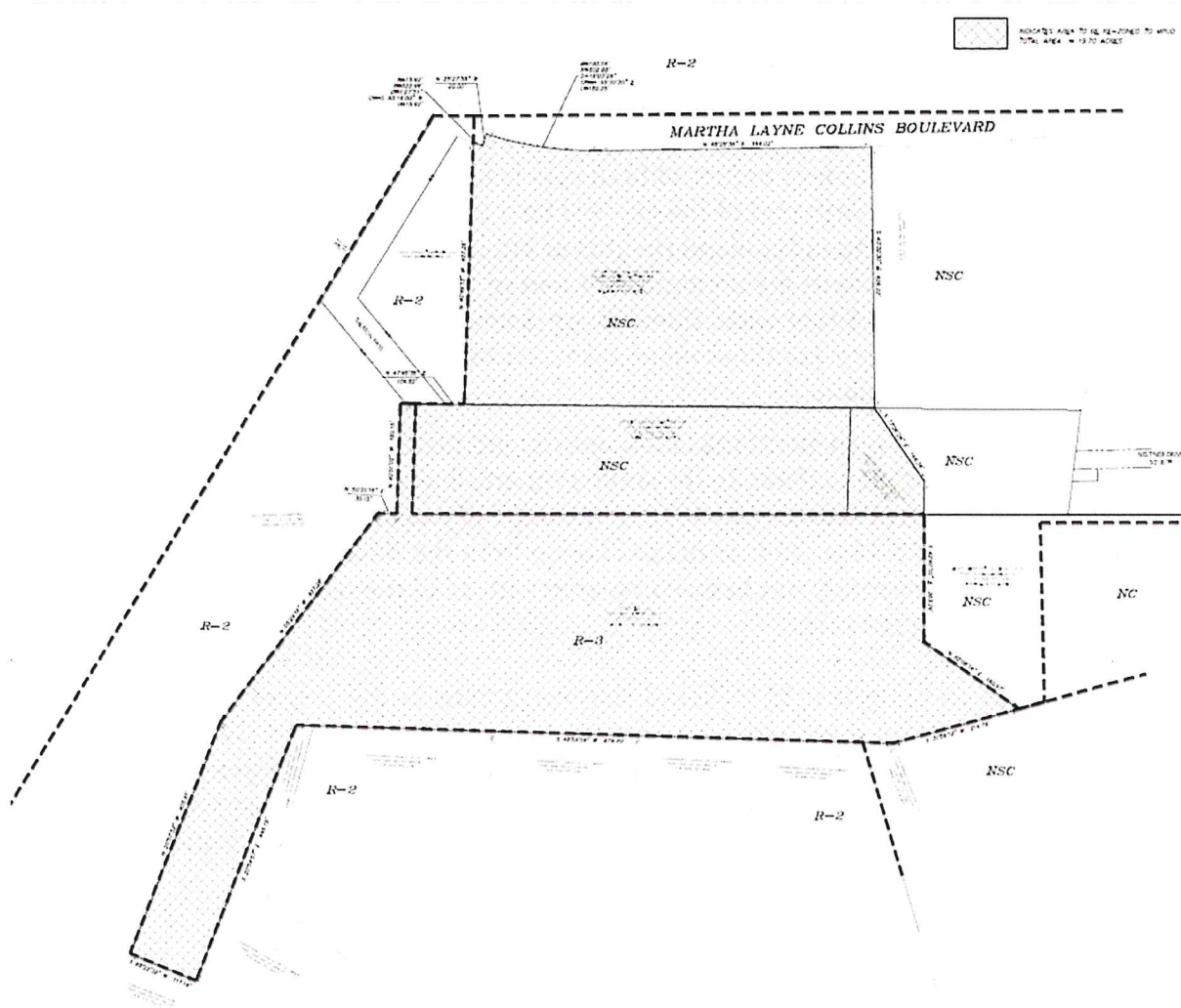
The northern position of the site is zoned Neighborhood Shopping Center (NSC). Parcels 999-99-19-495.00 and 999-99-19-495.01 were previously granted a Conditional Use Permit (CUP) for storage units. This property has changed hands to Kroger. The approval of this site plan will void this CUP.



In 2023, the property to the south was rezoned Residential 3 for a multifamily complex. Stage II plans have not been submitted. The approval of this zone map amendment voids the proposed multi-family development. The area to be rezoned is approximately 10 acres.



The site is proposed to be zoned Mixed Use Planned Development (MUPD). A new conditional use permit is required for the fuels center.



The proposed site of 19.7 acres is comprised of a 1.54-acre outlet, 7.2 acres of open space, approximately 2 acres of utility easements, with the balance serving as the building site with parking and driving aisles for the KROGER MARKETPLACE STORE with a wine and spirit store and a fuel center.

The MUPD zone permits the following uses: *(Uses desired are highlighted)*

1. Residential Uses: Only attached single-family and multi-family residential uses
2. Office and Related Uses: Professional Office, Research Training and other related uses:
 - a. Care centers for children and/or adults
 - b. Corporate headquarters, regional and administrative offices
 - c. Professional, medical, and dental offices
 - d. Regional and metropolitan offices
 - e. Sales and marketing offices

- f. Data and communication centers, including information processing facilities
- g. Sales and service offices related to electronic equipment, computers, and similar office equipment
- h. Research and development facilities
- i. Hotels and meeting facilities
- j. Training, educational and conference facilities
- k. Printing and publishing facilities
- l. Athletic and recreational facilities
- m. Financial institutions and services
- n. Retail and retail services in conjunction with and located within an office building, hotel, conference center, or athletic facility
- o. Colleges, technical, and business schools
- p. Libraries and museums

3. Commercial Uses:

- a. Antique stores
- b. Apparel stores
- c. Art supplies
- d. Art gallery and framing services
- e. Bakery and bakery goods store, provided the products are sold exclusively on the premises
- f. Barber and beauty shops
- g. Bicycle shop
- h. Book, stationery, or gift store
- i. Butcher shops
- j. Camera and photographic supplies
- k. Candy store, soda fountain, ice cream or yogurt store, excluding those with drive-in or drive-through facilities
- l. Card and gift shop
- m. Carpet and flooring store
- n. Collectables store
- o. Communications and postal service center
- p. Computer store
- q. Dance studio
- r. Delicatessen and coffee shops
- s. Drug store
- t. Dry cleaning store
- u. Eating and drinking places, excluding those with drive-in or drive-through facilities
- v. Fabric store
- w. Florist shop
- x. Travel agency
- y. Glass or pottery shop
- z. Grocery or food stores
- aa. Health and fitness facility
- bb. Hobby and craft store
- cc. Home furniture store
- dd. Home improvement and garden stores, including sales and service
- ee. Interior decorator services
- ff. Jewelry store
- gg. Leather goods and luggage store
- hh. Locksmith shop
- ii. Music store, including sale of instruments and recorded material
- jj. Office supply store
- kk. Opticians and optical goods
- ll. Paint and wallpaper store
- mm. Party supply and paper goods store
- nn. Pet store and grooming, excluding boarding of animals
- oo. Photocopy establishment
- pp. Radio, television and similar or related electronics and appliance sales and service
- qq. Shoe store and shoe repair
- rr. Sporting goods store
- ss. Tailor shop
- tt. Tanning salon
- uu. Toy store
- vv. Video tape and audio products sales and rental
- ww. Wine liquor store

G. CONDITIONAL USES:

1. Fuel dispensing facilities when incidental to and operated as a part of and located within 1,000 feet of a grocery store containing at least 40,000 gross square feet and when such facilities are not directly adjacent to or fronting on US 27/Alexandria Pike.

The Goals and Objectives of the Cold Spring Comprehensive Plan highlight two relevant items that emphasize a strong tax base and a balanced approach to development:

Land Use and Development - The city's business areas will include a diverse, high-quality mix of retail, service, professional (e.g., medical, general office, government, etc.), and industrial uses (e.g., manufacturing, research and development, etc.) that provide a job base and tax revenue for the community with a focus on encouraging the development of small-scale uses that meet the community's daily needs.

- Residents of Cold Spring see the city as a community of great housing and neighborhoods and would like to retain that small city character with emphasis on establishing and supporting businesses that meet the local's needs.
- While there is pride in being a bedroom community, there is still a desire to attract non-retail businesses to the area including offices and clean, indoor industrial companies that fit within the scale of Cold Spring.
- New developments, of any use, should be subject to clear and predictable design standards that meets the vision of the community and helps ensure the long-term viability of buildings.

Economic Development - The city will have an expanded and diverse tax base by working with existing businesses to help them grow while simultaneously looking to attract new businesses to the area.

- While residents appreciate that Cold Spring has a larger residential population where most residents work outside of the city, they also want access to services, shops, and restaurants. The vision of new businesses in Cold Spring is for small-scale businesses, farmers' markets, and local shopping and dining that fit within the character of the city.
- New developments should be designed in a manner that contributes to enhancing the quality and value of development in Cold Spring.

A zone map amendment that allows for the reinvestment and expansion of a Kroger Marketplace Store is consistent with these goals. The acquisition of adjacent land to expand this use will cater to both the residents of Cold Spring as well as the larger region. This area will integrate well with the existing shopping and services uses available to the community.

This site is planned with a focus on retail and supporting neighborhood commercial in the initial phase. The tenants will cater to primarily auto oriented users; however, the development plan proposed includes opportunities to tie in pedestrian access between buildings and surrounding developments.

Staff recommends that the zoning designation be changed from Residential-3 (R-3) and Neighborhood Shopping Center (NSC) to a Mixed-Use Plan Development (MUPD) for approximately 19.7 acres plus adjacent rights of way, noting that the previous approved incomplete developments (storage units and apartments) will be void.

There is no residential development proposed as part of this plan.

Considerations of Site Development Plan

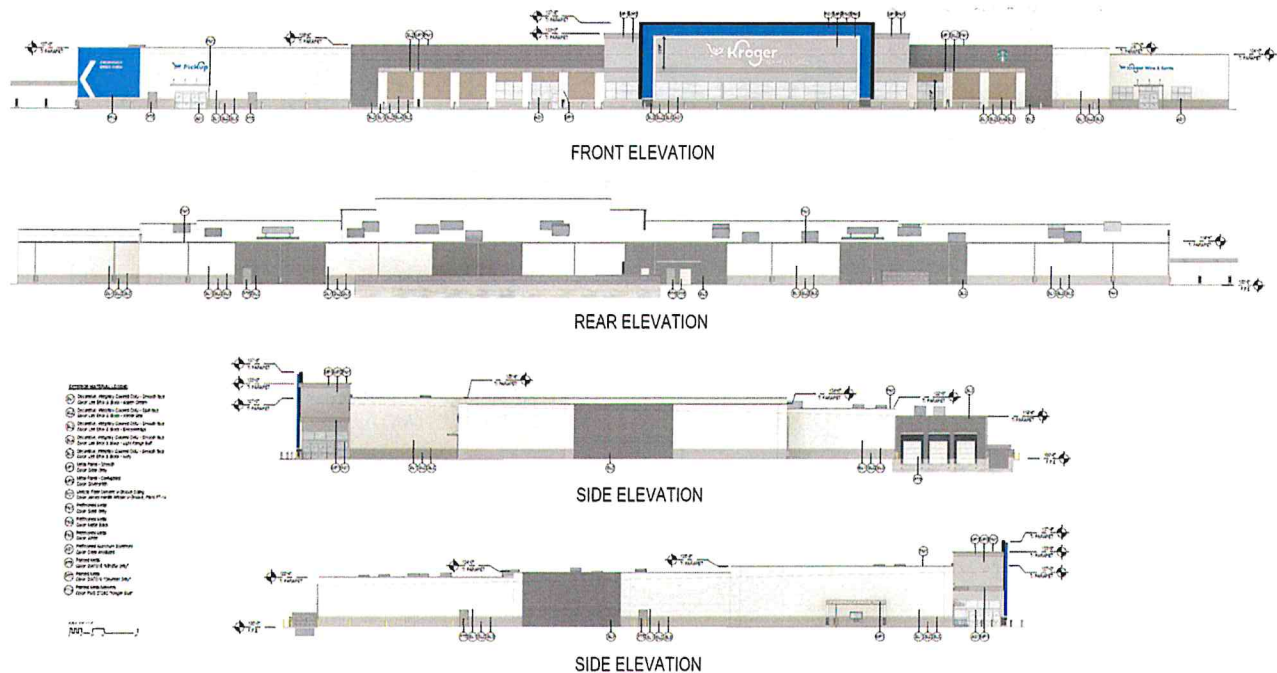
The Applicant is submitting a combined Stage I and Stage II Development Plan within the Mixed Use Planned Development (MUPD). The MUPD zone is established to provide for the development of a variety of office, commercial, residential and related uses which are planned and designed as a total and comprehensive development to create a quality, successfully planned environment. [No residential uses are proposed at this site].



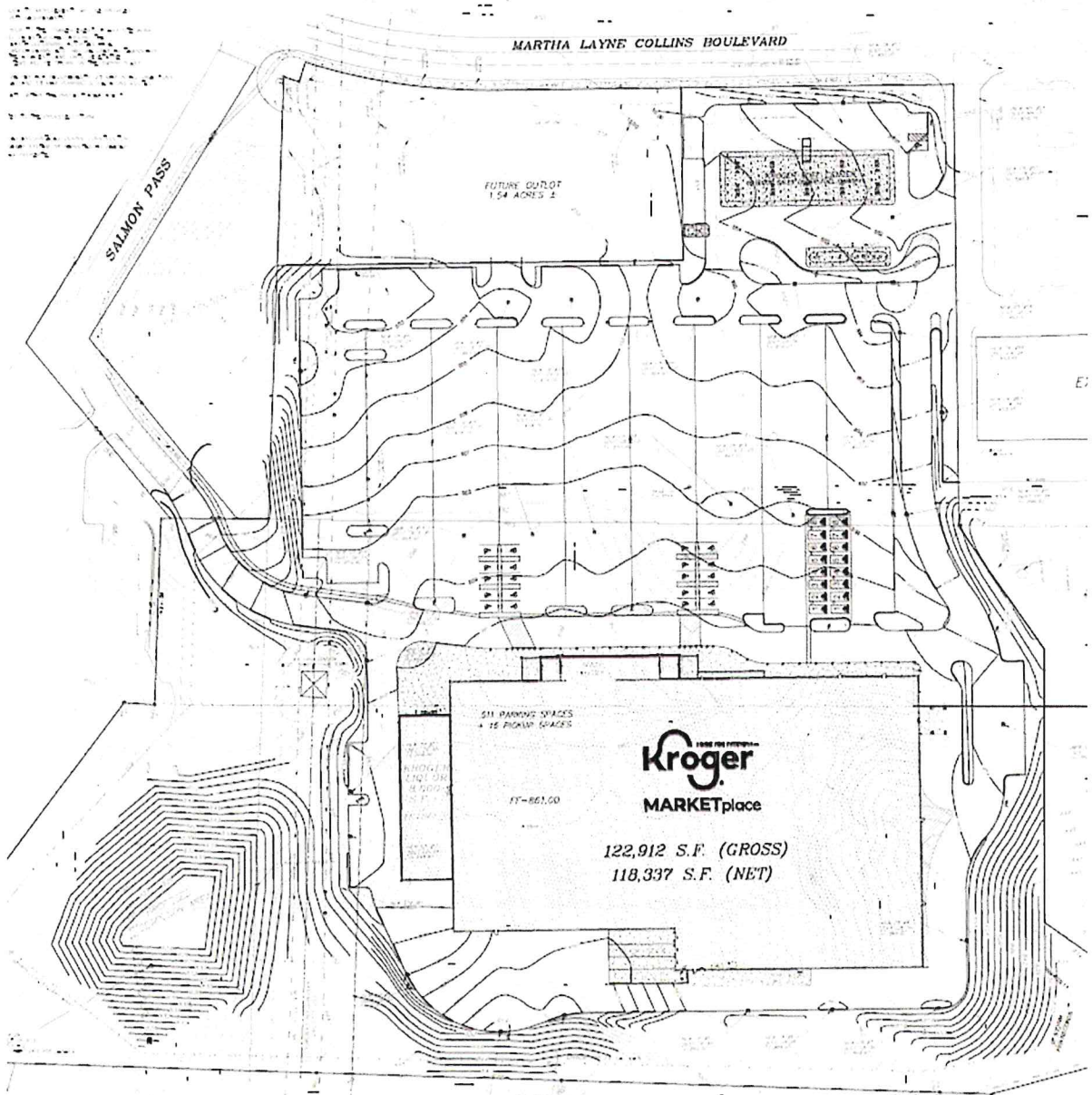
Guided by an overall master plan, the mixed-use development should include integrated design elements including building materials and design, landscaping, open space, signage, lighting and circulation. These design elements should unify the various uses within the development into a single community. Where appropriate, uses shall take advantage of high-tech telecommunication infrastructure.

In conformance with Section 9.17 DEVELOPMENT PLAN REQUIREMENTS, Section 9.18 DEVELOPMENT PLAN REQUIREMENTS - STAGE I, II AND RECORD PLAT, and Section 10.15 MUPD - MIXED USE PLANNED DEVELOPMENT ZONE, the submitted Site Development Plan identifies and provides the following information:

- A. Plans were submitted electronically to allow for readability.
- B. Exterior Elevations were provided.

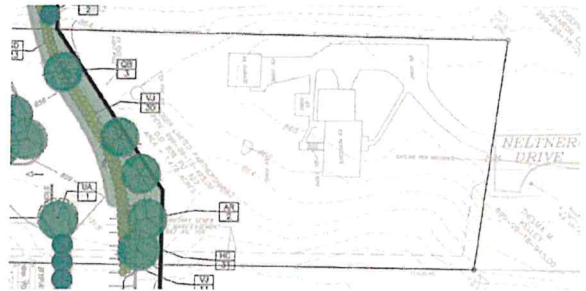


- C. The total area of the project is indicated.
- D. The present zoning is indicated.
- E. Topography is included on Sheet C0.0 at and C2.0 at two-foot intervals.

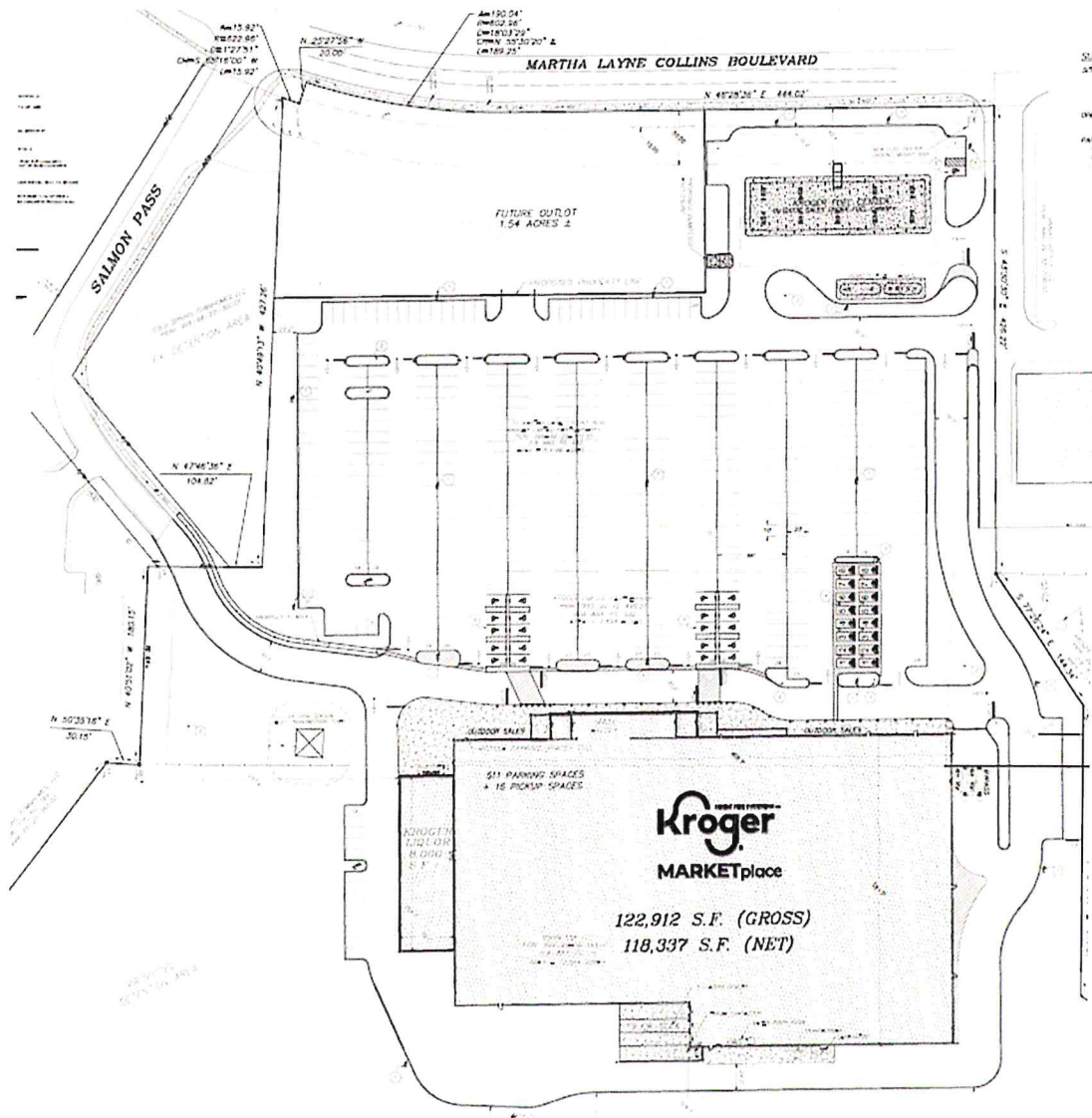


F. There are no housing units proposed.

The plans did indicate increased landscaping to the south east. This serves as a buffer between the store complex and existing homes located on Neltner Drive. There is no access planned from Neltner Drive to the shopping center.



G. The location, height, arrangement, and identification of the commercial structure are indicated on Sheet C1.0



H. Open space on this parcel is indicated. There are no recreational facilities proposed.

SITE AREA

ZONE CHANGE AREA – 10.0 ACRES (R-3 TO NSC)
 SITE AREA – 19.70 ACRES (INCLUDING FUTURE OUTLOT)
 FUTURE OUTLOT – 1.54 ACRES

OPEN SPACE

PUD OPEN SPACE = 7.2 ACRES (40% OF SITE) (EXCLUDING OUTLOT)

I. Landscaping features are indicated and found to be in compliance with Section 9.15 LANDSCAPE REGULATIONS. (see Sheets LS2, LS3, and LS4)

An existing tree survey was completed (see sheet LS1).

The opportunity for additional landscaping to the south and west of the parcel is hampered by major utilities such as overhead transmission lines and underground gas lines.

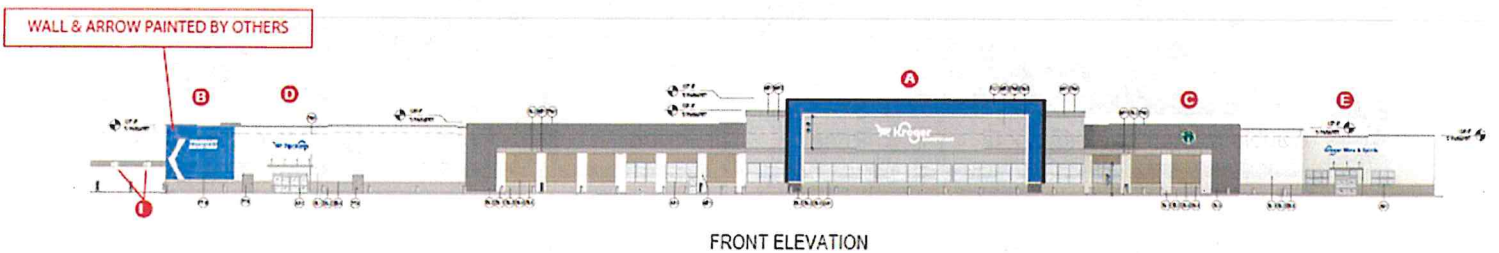


Section 10.15 (P) 5. Signage

- a. Signage should be designed to protect and enhance the visual amenities of the site.
- b. A sign package should be developed for the entire development that forms an integral part of the total design of the site.
- c. All signs should be of a complimentary scale and proportion in design and in visual relationship to the site and buildings.
- d. Extent to which signs define and enhance the architectural elements of a building or site.
- e. Extent to which signage is consolidated and coordinated with the overall site design.

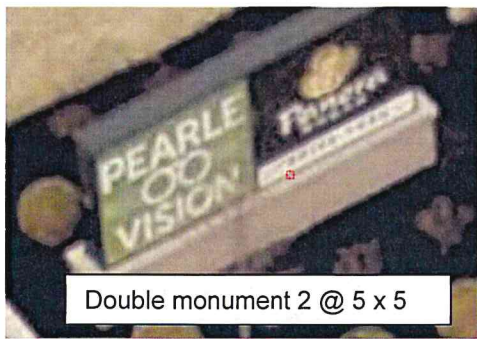
J. The location of signs indicating their orientation, size, and height are provided including:

- Kroger Marketplace Store and Wine & Spirits Store – Requesting 485 square feet of sign area to be spread amongst multiple signs along the same linear frontage.

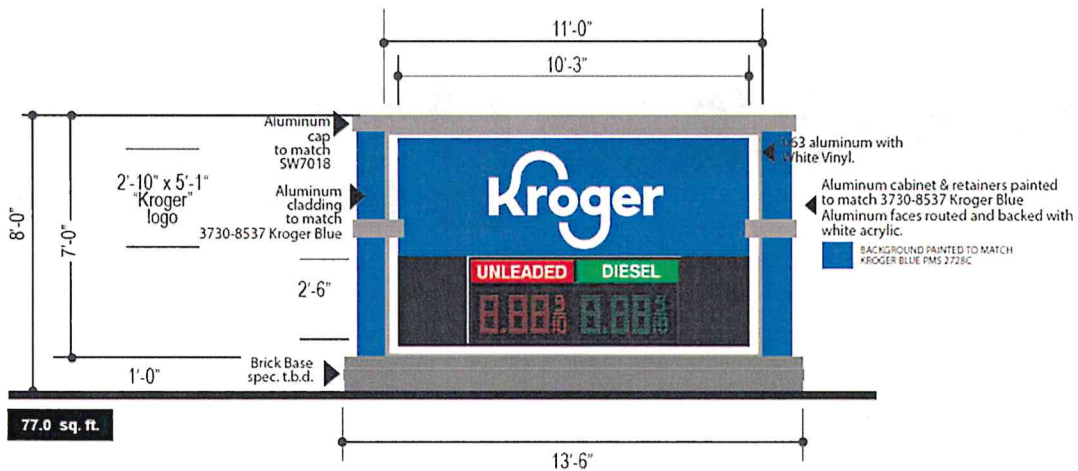
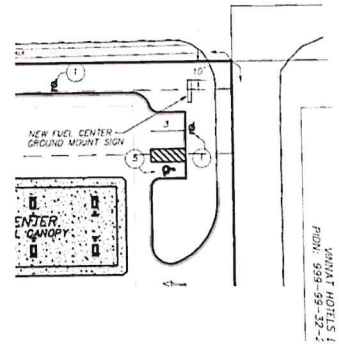


Staff recommends that the applicant be permitted multiple signs provided that the total does not exceed an allowance of one square foot for each linear foot on the primary façade. This is consistent with the adjacent NSC Zone.

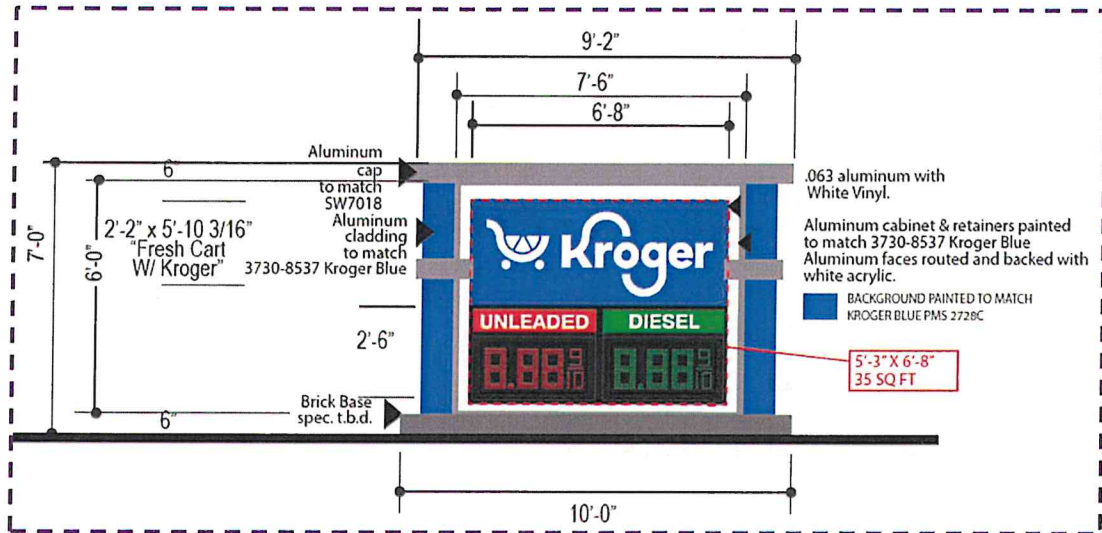




- Fuel Center Monument Sign – The applicant is proposing a combined identification sign with the LED identification of fuel prices along Martha Lane Collins Boulevard. Kroger has requested a 77 square foot monument sign not to exceed 8 feet in height.



Throughout the development of the case, a concept of a 35 square foot sign with a height limit of 7 feet was visualized. This 35 square foot sign better aligns with the adjacent NSC Zone. Staff notes that within the adjacent NSC Zone a 25 square foot monument sign would be permitted on each road frontage. However, Kroger is only requesting one monument sign within this MUPD zone.



Staff finds this sign aligns with scale of signage for the general area. Consideration should be given that the proposed sign is at the intersection of a public road way and a primary drive aisle to the County Square shopping center.

Staff recommends that consideration be given to one monument sign with the total square footage of the signage not to exceed 35 square feet as alternatively developed.

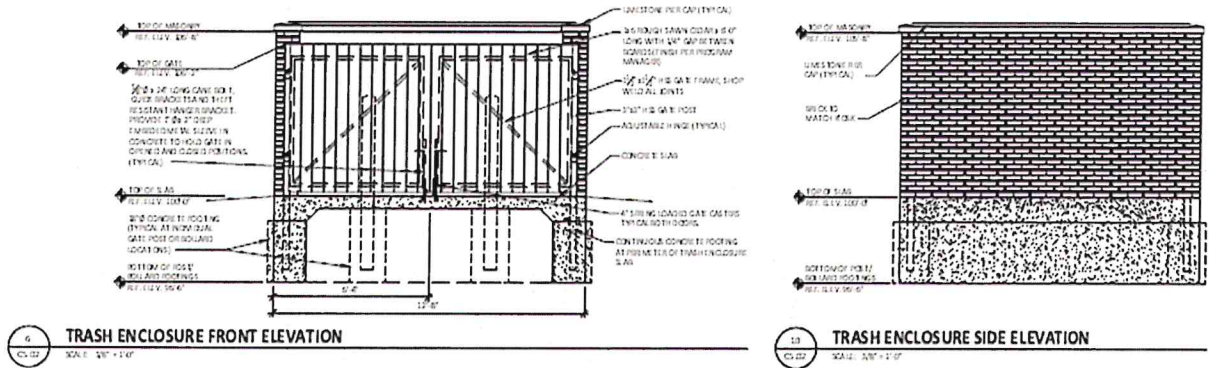
(Note: the outlot would retain its right for a monument sign).

- Fuel Canopy and Kiosk – The applicant is requesting both the name and the LED identification of fuel prices signs on the north and south side of the canopy, facing the marketplace store and to allow the square footage to be shared over multiple signs on the same façade.

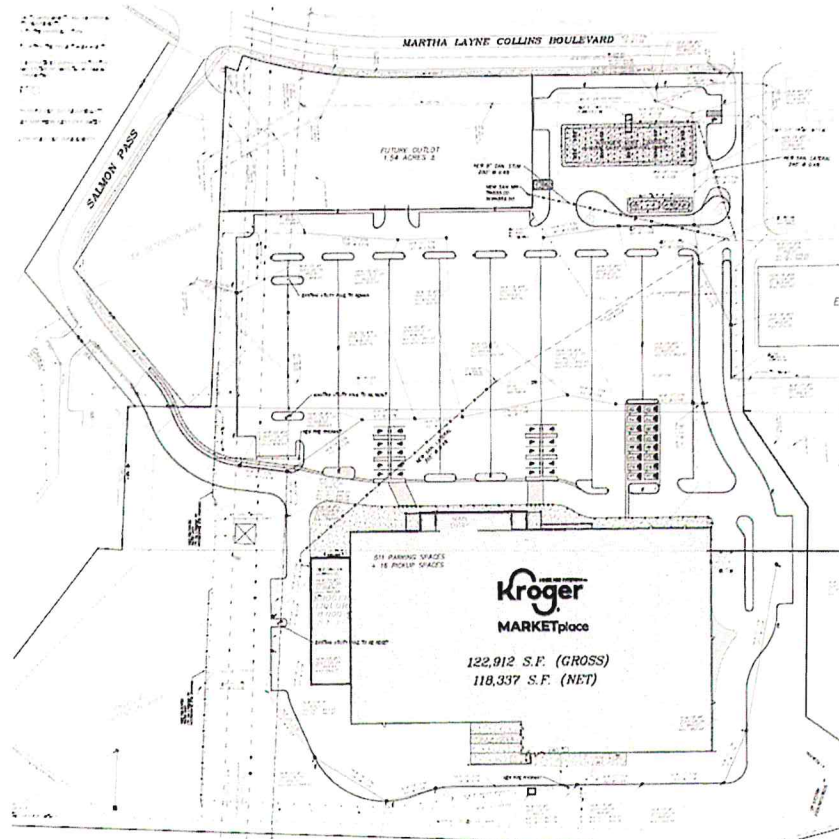
The fuel canopy is 160 feet in length. Within the adjacent NSC zone 160 square feet of sign area would be permitted for the façade.

Staff finds that the square footage to be shared over multiple signs on the same façade is consistent with that allowed in the adjacent NSC zone. In addition, a sign on the south side of the canopy, facing the marketplace store will improve visibility and reduce unnecessary circulation.

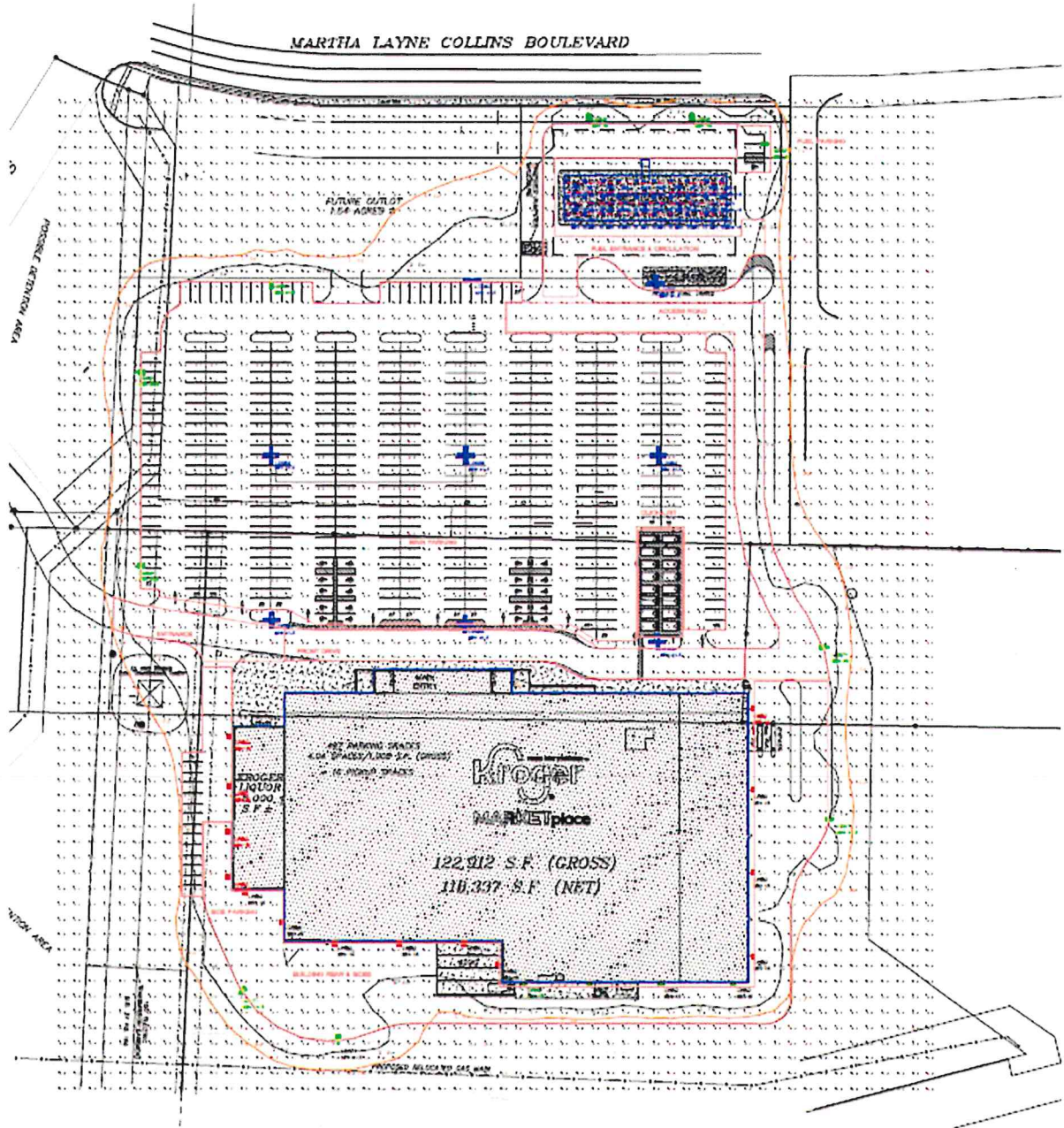
K. Details on the Trash enclosures were provided on Sheet C5.02



L. Utility lines and easements are indicated on Sheet C3.0.



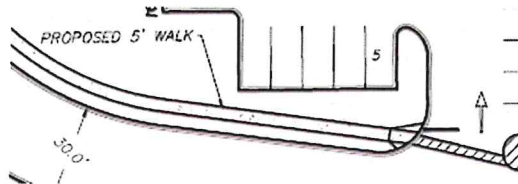
M. A lighting Plan was provided.



N. The location of all off-street parking, loading and/or unloading, and driveway areas were provided on Sheet C1.0.

Parking stalls were indicated at 10 by 20. Drive aisles are indicated at 24 feet within the parking area.

Pedestrian walkway and crosswalks are indicated around the perimeter and within the site.

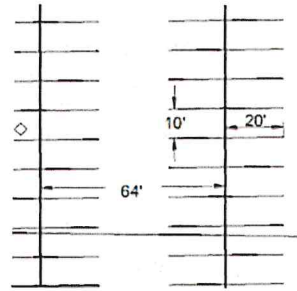


PARKING INFORMATION

PARKING SPACES = 511

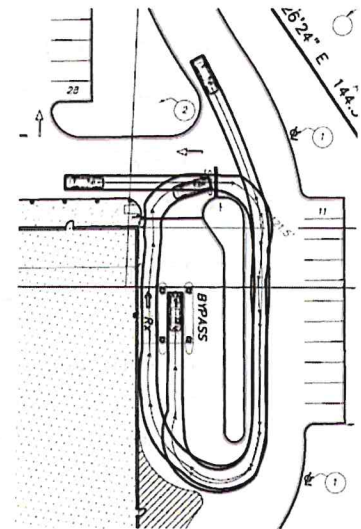
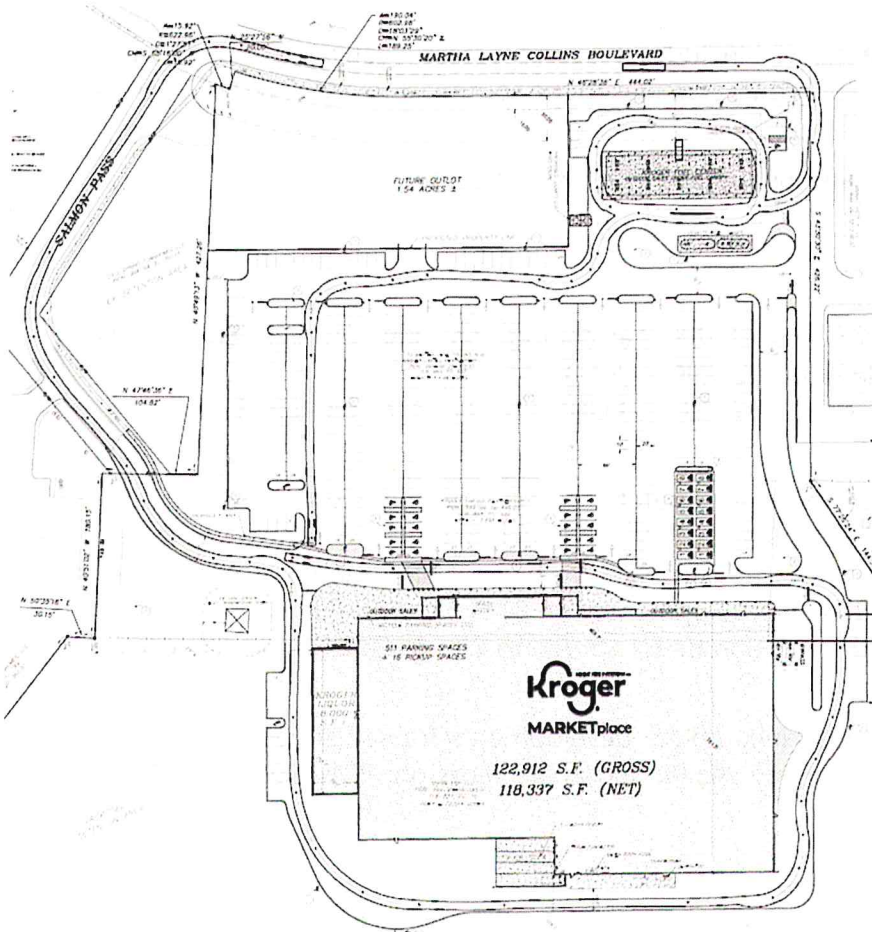
BICYCLE SPACES = 10

GROCERY PICKUP = 16



Supplemental plans were provided showing the circulation system and key areas including the pharmacy and fire lanes.

There are no new streets or extensions of streets proposed to be dedicated.



- O. A traffic analysis was request by KYTC to confirm patterns along Martha Layne Collins Boulevard. An update will be provided at the meeting.

The traffic study is in process with KYTC. Traffic counts have been completed. The final approval of the traffic plan by KYTC could take up to six months. No off-site traffic improvements are anticipated. Kroger is committed to revisiting the plan with the Planning Commission if any off-site improvements are recommended to be completed by KYTC as part of this development.

- P. Stormwater managed provisions are indicated on the plan. Detailed stormwater calculations were submitted to the City engineer.
- Q. Kroger would likely start in the fall of 2025 and it would take approximately 14-16 months to construct.

*

Summary of Applicants Request:

The applicant is requesting:

- 1. Zone change for 19.7 acres that includes the current store location (70 Martha Lane Collins Boulevard) and additional acreages to the southeast to a Mixed Use Planned Development.
- 2. Site development plan approval with a CUP for Fuel Center.

Staff Recommendation:

FILE NUMBER: PZ-24-043
APPLICANT: MCBRIDE DALE CLARION as Zoning Consultant for KROGER LIMITED PARTNERSHIP I & VISION ESP LLC
LOCATION: MARTHA LAYNE COLLINS BOULEVARD and SALMON PASS, COLD SPRING

- 1. The zoning designation for approximately 19.7 acres of land referred to as Parcels PIDN: 999-99-20-372.00, 999-99-19-495.01, 999-99-18-193.01 and a portion of 999-99-19-495.00 to be changed from Residential-3 (R-3) and Neighborhood Shopping Center (NSC) to Mixed Use Planed Development (MUPD) along with the associated rights of-way be approved and the action be forwarded to City of Cold Spring City Council for adoption.
- 2. That previously approved incomplete developments for self-storage units on PIDNs 999-99-19-945.01 / 999-99-19-945.00 and apartments on PIDN: 999-99-18-193.01 be void.

Bases for Staff Recommendation:

- a. Per Kentucky Revised Statutes, the City of Cold Spring has the authority to enact zoning regulations within its jurisdiction. This authority includes the provision to

- amend its zoning map.
- b. Pursuant to the Cold Spring Zoning Ordinance Article XVII Amendment Procedure, the Planning and Zoning Commission has the authority to take action on amendments to the zoning map for adoption by the legislative body.
 - c. Proper notice has been given in accordance with Article XVII Amendment Procedure of the Cold Spring Zoning Ordinance.
 - d. The existing zoning classification was recently assigned and the requested zone change is more appropriate and improves the alignment with the adopted Comprehensive Plan.

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APPLICANT: MCBRIDE DALE CLARION as Zoning Consultant for KROGER LIMITED PARTNERSHIP I & VISION ESP LLC
LOCATION: MARTHA LAYNE COLLINS BOULEVARD and SALMON PASS, COLD SPRING

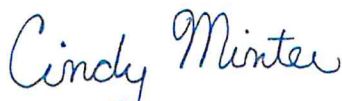
1. To approve the Stage I and II Site Development Plan with no residential improvements and a revision to the monument sign to a concept of 35 square feet with a height limit of 7 feet.
2. To approve a conditional use permit for a fuel dispensing facility that is incidental to and operated as a part of and located within 1,000 feet of a grocery store containing at least 40,000 gross square feet and not directly adjacent to or fronting on US 27/Alexandria Pike.
3. Should KYTC request off-site traffic improvements the traffic plan will return to this body for further review.

Bases for Staff Recommendation:

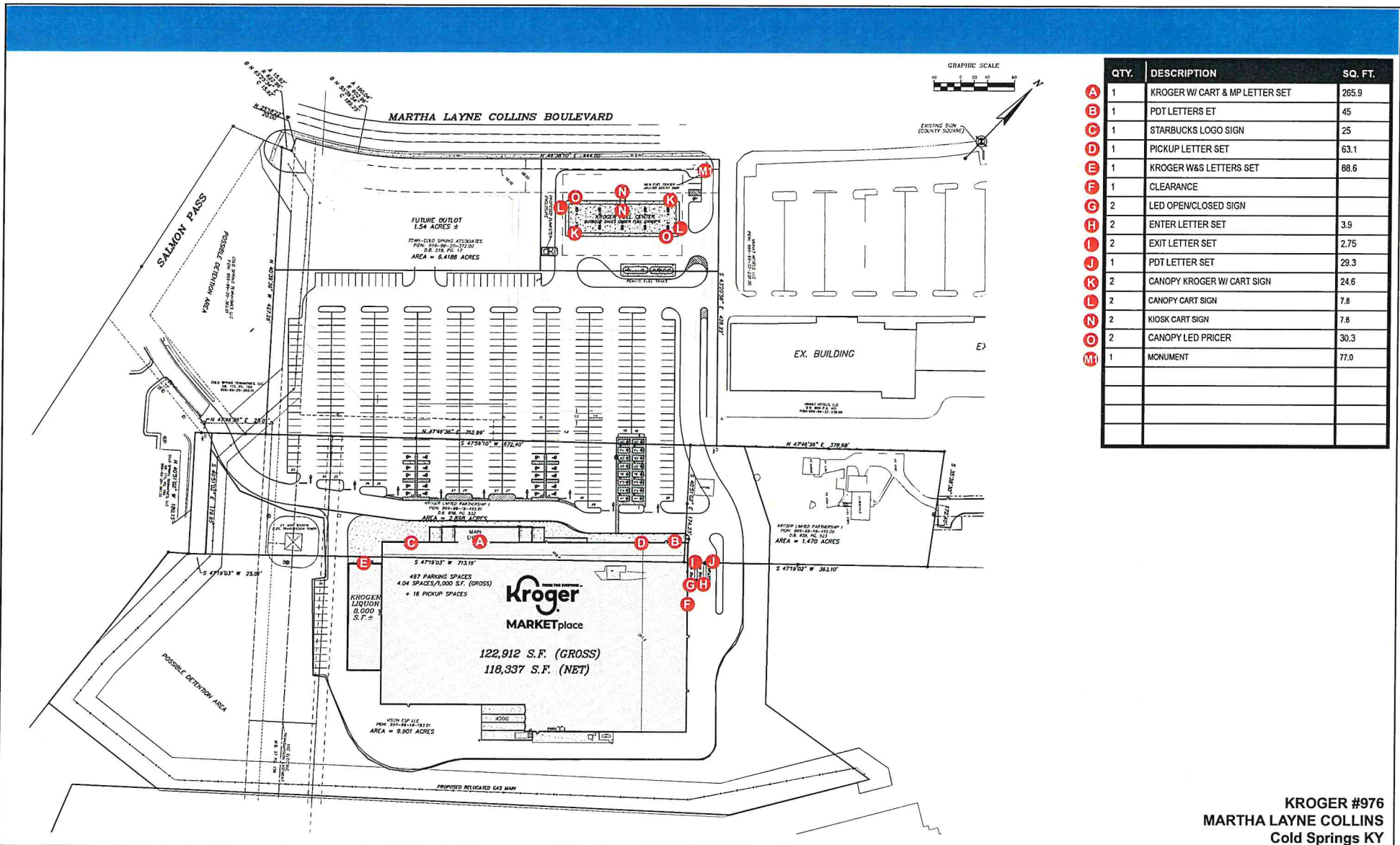
- a. Proper notice has been given in accordance with the Cold Spring Zoning Ordinance.
- b. The site plan is in conformity of the Cold Spring Zoning Ordinance and Subdivision Regulations.
- c. The plan and evidence presented is in conformity with the design criteria for the MUPD Zone.
- d. In accordance with KRS 100.237, the Board of Adjustment has the power to hear and decide applications for Conditional Use Permits. The board may impose any reasonable conditions or restrictions on the conditional use it decides to grant.
- e. The planning commission may hear and finally decide applications for conditional use permits and variances with a proposed development assuming all powers and duties otherwise exercised by the board of adjustments pursuant to KRS 100.231, 100.233, 100.237, 100.241, 100.243, 100.247, and 100.251.

If you have any questions concerning this report, please feel free to contact Campbell County Planning and Zoning at 859-292-3880. Thank you.

Respectfully submitted,



Cindy Minter, AICP CFM



QTY.	DESCRIPTION	SQ. FT.
A	KROGER W/ CART & MP LETTER SET	265.9
B	PDT LETTERS ET	45
C	STARBUCKS LOGO SIGN	25
D	PICKUP LETTER SET	63.1
E	KROGER W&S LETTERS SET	88.6
F	CLEARANCE	
G	LED OPEN/CLOSED SIGN	
H	ENTER LETTER SET	3.9
I	EXIT LETTER SET	2.75
J	PDT LETTER SET	29.3
K	CANOPY KROGER W/ CART SIGN	24.6
L	CANOPY CART SIGN	7.8
N	KIOSK CART SIGN	7.8
O	CANOPY LED PRICER	30.3
M	MONUMENT	77.0

KROGER #976
MARTHA LAYNE COLLINS
Cold Springs KY

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Rev. #	DATE	BY	Rev. #	DATE	BY
Rev. #1	_____	_____	Rev. #4	_____	_____
Rev. #2	_____	_____	Rev. #5	_____	_____
Rev. #3	_____	_____	Rev. #6	_____	_____



DRAWING NO:
1380589372.04
 DATE: 09.13.2024
 J. Allington



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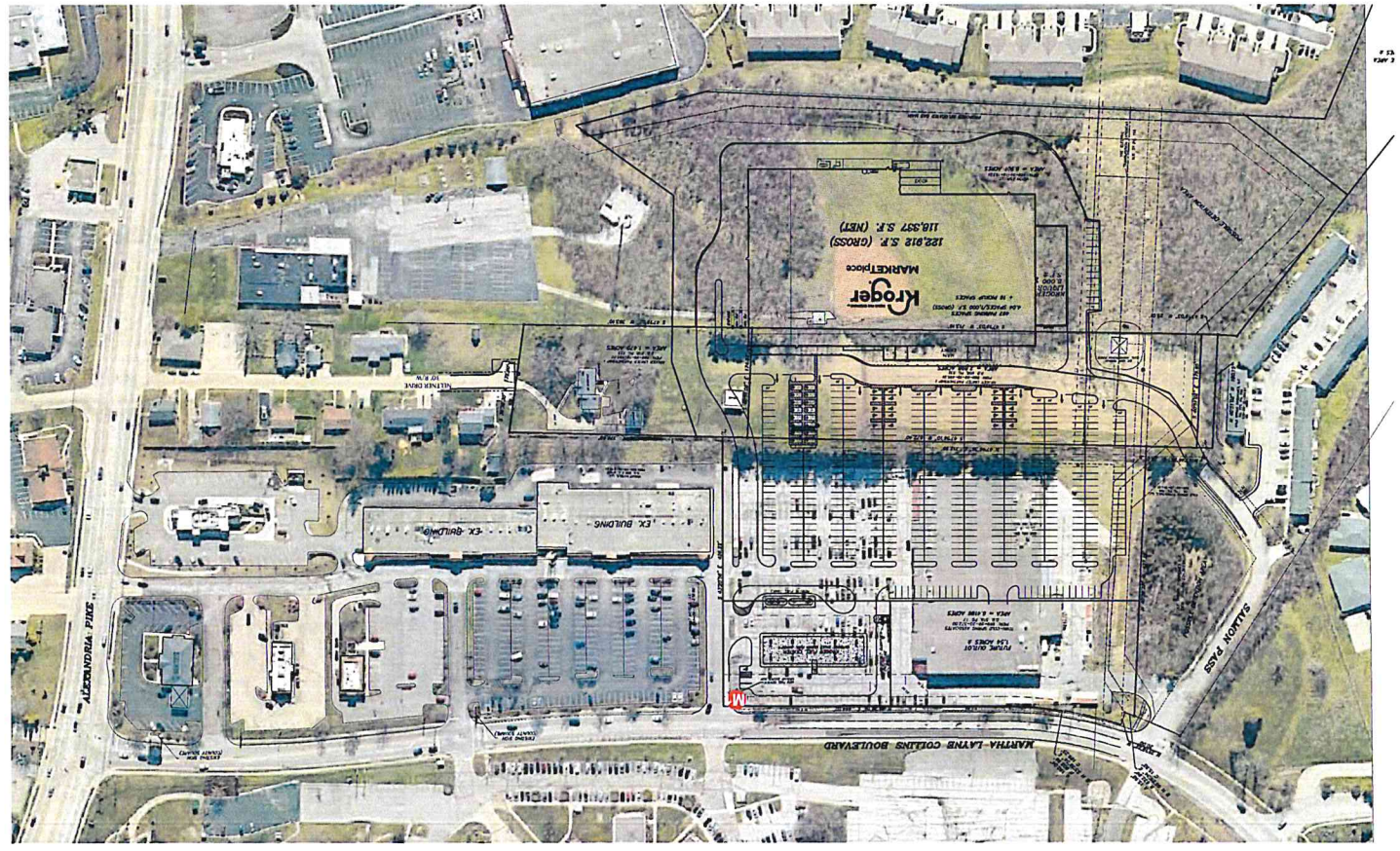
CUSTOMER APPROVAL: _____
DATE: _____

Rev. #1 DATE _____ BY _____
Rev. #2 _____
Rev. #3 _____
Rev. #4 _____
Rev. #5 _____
Rev. #6 _____



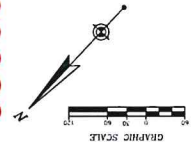
DRAWING NO: 138058937.04
DATE: 09.13.2024
J. Allington

KROGER #976
MARTHA LAYNE COLLINS
Cold Springs KY

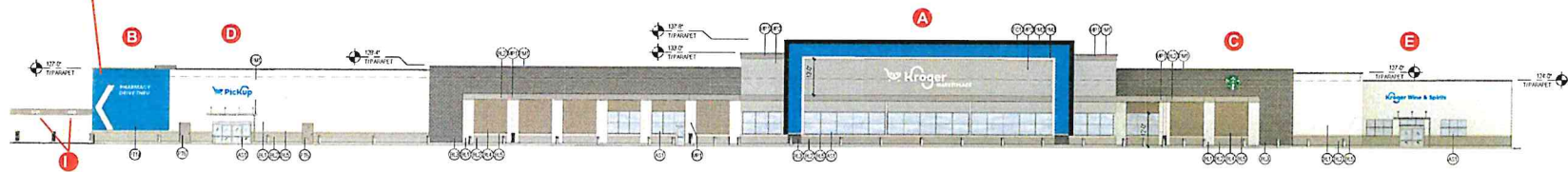


QTY.	DESCRIPTION	SQ. FT.
1	KROGER W/ CART & MP LETTER SET	265.9
1	PDT LETTERS ET	45
1	STARBUCKS LOGO SIGN	25
1	PICKUP LETTER SET	63.1
1	KROGER W/S LETTERS SET	88.6
1	CLEARANCE	
2	LED OPEN/CLOSED SIGN	3.9
2	ENTER LETTER SET	2.75
1	PDT LETTER SET	29.3
2	CANOPY KROGER W/ CART SIGN	24.6
2	CANOPY CART SIGN	7.8
2	KIOSK CART SIGN	7.8
2	CANOPY LED PRICER	30.3
1	MONUMENT	77.0

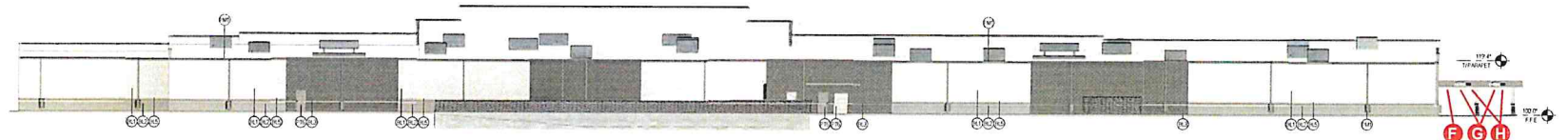
A
B
C
D
E
F
G
H
I
J
K
L
M



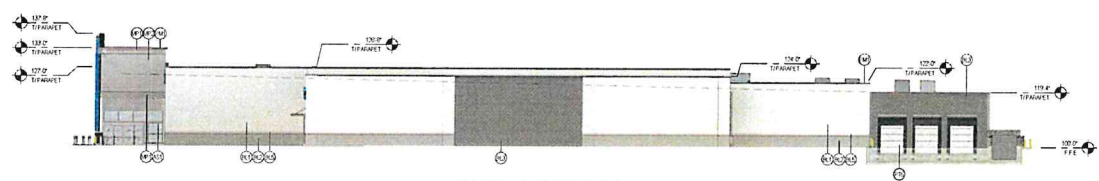
WALL & ARROW PAINTED BY OTHERS



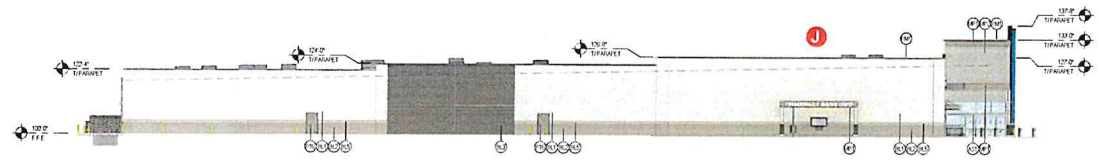
FRONT ELEVATION



REAR ELEVATION

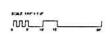


SIDE ELEVATION



SIDE ELEVATION

- EXTERIOR MATERIALS LEGEND**
- 1) Concrete: High-Strength Concrete (CMU) - Smooth Face
Color: Light Gray & Darker - Agglom. Granite
 - 2) Concrete: High-Strength Concrete (CMU) - Split Face
Color: Light Gray & Darker - White Seal
 - 3) Concrete: Medium-Strength Concrete (CMU) - Smooth Face
Color: Light Gray & Darker - Smooth Seal
 - 4) Concrete: Medium-Strength Concrete (CMU) - Split Face
Color: Light Gray & Darker - Smooth Seal
 - 5) Concrete: Medium-Strength Concrete (CMU) - Smooth Face
Color: Light Gray & Darker - Smooth Seal
 - 6) Metal Panel - Smooth
Color: Light Gray
 - 7) Metal Panel - Corrugated
Color: Smooth
 - 8) Vertical Face Concrete V-Groove Siding
Color: James Hardie Arden V-Groove Panel FT 14
 - 9) Polystyrene Insulation
Color: Skin Gray
 - 10) Polystyrene Insulation
Color: White
 - 11) Extruded Polystyrene Insulation
Color: Gray Anodized
 - 12) Parapet Wall
Color: 2025 "Wooded Gray"
 - 13) Parapet Wall
Color: 2025 "Slate Gray"
 - 14) Parapet Wall
Color: 2025 "Slate Gray"



KROGER #976
MARTHA LAYNE COLLINS
Cold Springs KY



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Rev. #2	_____	_____	Rev. #5	_____	_____
Rev. #3	_____	_____	Rev. #6	_____	_____



DRAWING NO:
1380589372.04
 DATE: 09.13.2024
 J. Allington



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 DATE: _____

Rev. #1	DATE	BY
3.18.2022	5.H.	
Rev. #2	DATE	BY
3.31.2022	5.H.	
Rev. #3	DATE	BY

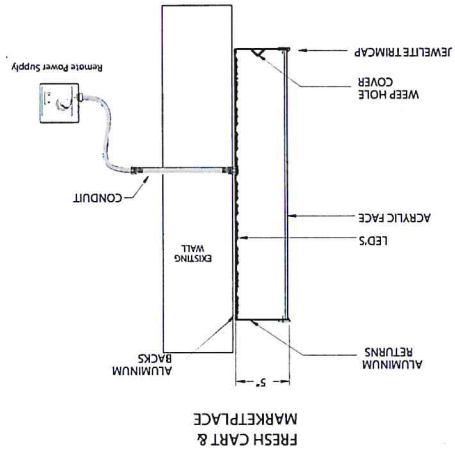
Rev. #4	DATE	BY
Rev. #5	DATE	BY
Rev. #6	DATE	BY



DRAWING NO: 811072182.01A10
 DATE: 2.24.2022
 S. Hawke

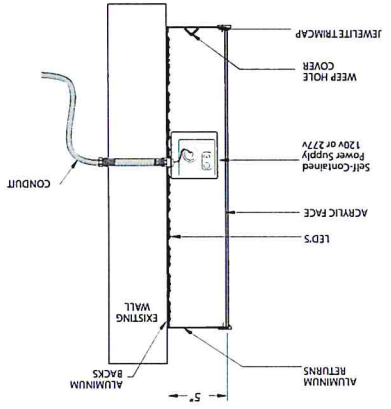
Scale: 1/4" = 1'-0"
265.9 SQ. FT.

LED CL CROSS SECTION
 SCALE: NTS (REFERENCE ONLY)



FRESH CART & MARKETPLACE

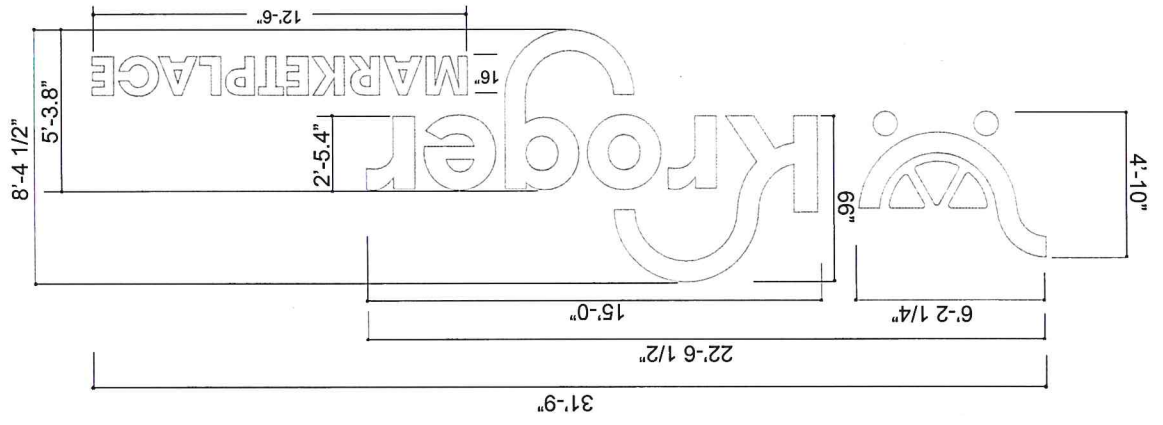
LED CL CROSS SECTION
 SCALE: NTS (REFERENCE ONLY)
 EQUIPMENT GROUNDED



KROGER LETTER SET

*MOUNTING CLIPS AS NEEDED BY SEPARATE ORDER BASED ON SURVEY OR BUILDING SPECS

- WHITE ACRYLIC
- RETAINER: WHITE
- FILTER: WHITE

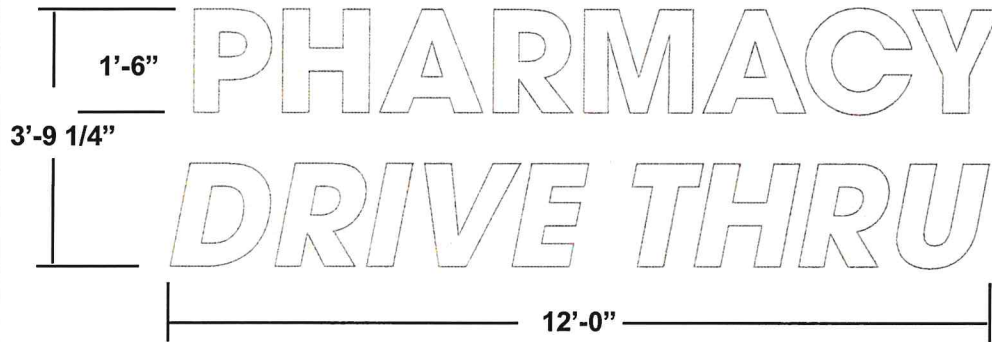


A

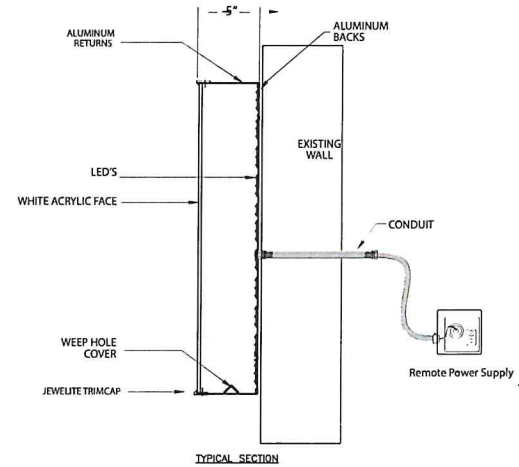
PHARMACY DRIVE THRU SIGNAGE - 2022

REMOTE LETTER SET *Preferred*

B

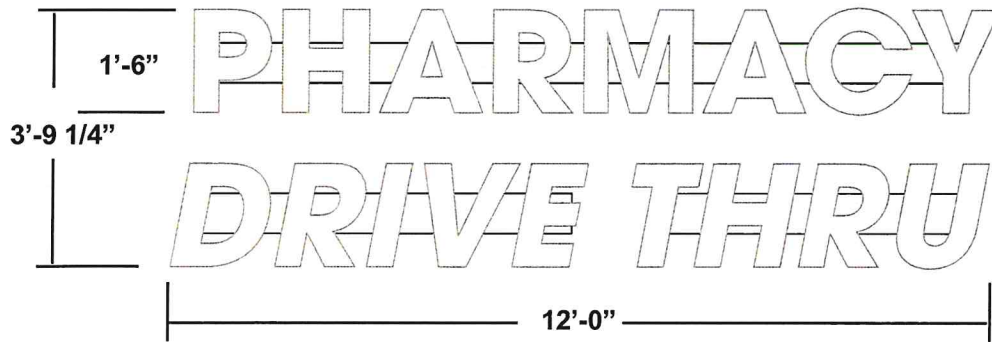


PART # 403-22-CL18-PDT-RWH

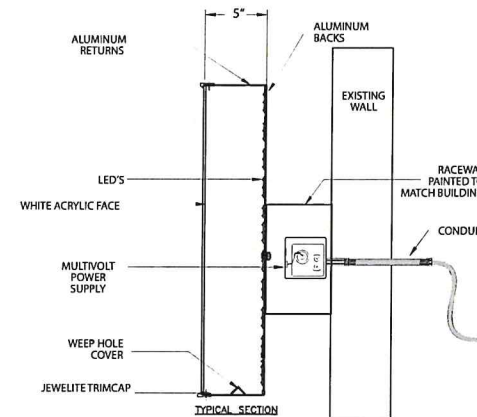


- WHITE ACRYLIC
- RETAINER: WHITE
- FILLER: WHITE

RACEWAY MOUNT LETTER SET *Optional - based on conditions*



PART # 403-22-CL18-PDT-RWWH



- WHITE ACRYLIC
- RETAINER: WHITE
- FILLER: WHITE
- RACEWAY: T.B.D.

45 SQ. FT.



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DATE: _____

Rev. #1

DATE

BY

Rev. #2

Rev. #3

Rev. #4

DATE

BY

Rev. #5

Rev. #6



DRAWING NO:
809507172.00D

DATE: 12-10-2021
S. Hawke

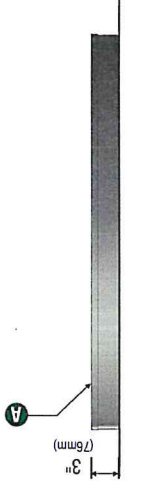
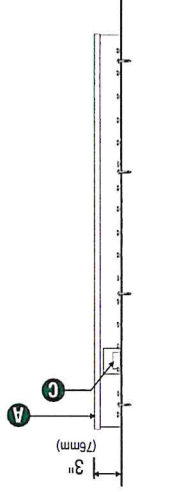
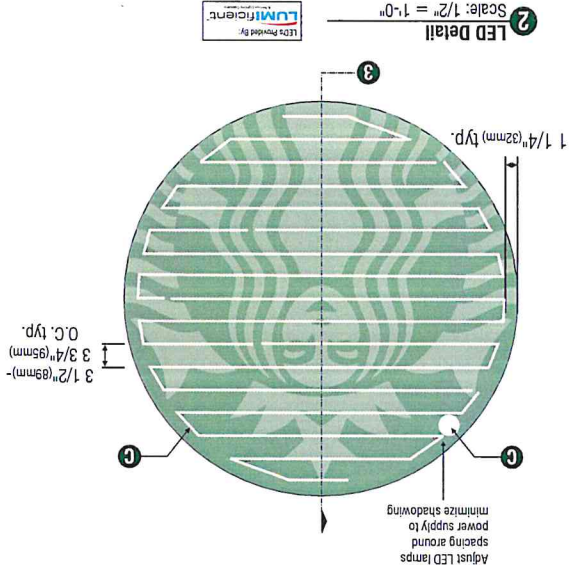
PROVIDED BY OTHERS - PERMITTED & INSTALLED BY CUMMINGS

SPECIFICATIONS:

A 60" (1524mm) Single faced internally illuminated wall mount logo disk. Cabinet to be 3" (76mm) deep, fabricated aluminum sidewalls and back. Paint cabinet black polyurethane. Faces to be 3/16" (5mm) Acrylite 015-2GP, 1" (25mm) black trimcap with square head screws retainer edging.

B Graphics of logo to be 1st surface 3M Translucent Scotchcal vinyl- Holly Green #3630-76. Siren to show thru white.

C Internally illuminate logo disk with white LED's installed to back of disk. Power with self-contained multi-volt power supply contained within an U.L. enclosure covered in white vinyl film. Fasten to wall with required fasteners.



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CONCEPTUAL DRAWING - FOR PRESENTATION PURPOSES ONLY. NOT FOR USE IN MFG. OR FOR FINAL CUSTOMER APPROVAL

Rev. #1	DATE	BY
Rev. #2		
Rev. #3		

Rev. #4	DATE	BY
Rev. #5		
Rev. #6		



DRAWING NO: 84559

DATE: 7-21-2016

S. Hawke

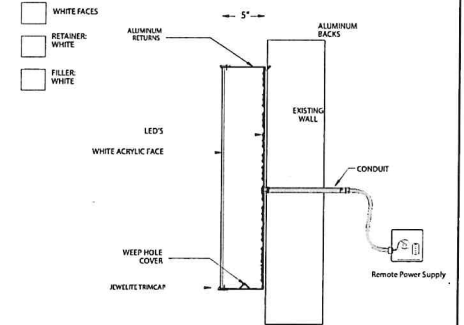
INTERNALLY ILLUMINATED CHANNEL LETTERS



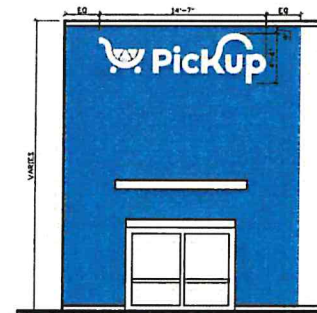
WALL PAINTED TO MATCH KROGER BLUE VINYL -
 Kroger Blue (PMS 2728C) - Exterior Quart Formula

NOTE:
 PAINTING IS NOT PART OF THE
 SIGNAGE SCOPE - PAINTING IS THE
 RESPONSIBILITY OF G.C.

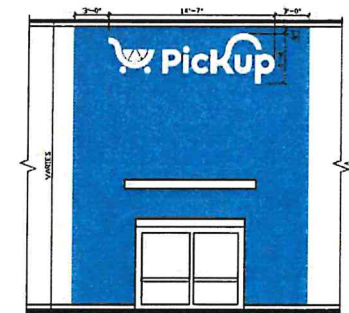
- INTERNALLY ILLUMINATED CHANNEL LETTERS. ALUMINUM SIDES & BACK PAINTED WHITE. WHITE TRIMCAP RETAINER. FLAT, WHITE POLYCARBONATE FACE WHITE LED ILLUMINATION.



WHITE LETTERS INSTALLED ONTO
 DARK BRICK WALL - BRICK COLOR MAY
 VARY



TYPICAL PAINTED AREA:
 PICKUP FRONT ENTRY
 DOOR NEAR CORNER -
 CENTERED HORIZONTALLY OVER CANOPY/DOOR AND OR
 AT LEAST 1'-6" FROM CORNER OF BUILDING.
 CREATE PAINT FINISH BREAK ON OPPOSITE SIDE
 EQUAL DISTANCE FROM EDGE OF SIGN LEFT & RIGHT.



TYPICAL PAINTED AREA:
 PICKUP FRONT ENTRY
 DOOR ON BLANK FACADE -
 CENTERED HORIZONTALLY OVER CANOPY/DOOR.
 INSTALLED 8-12" FROM BOTTOM OF CORNICE/COPING - or -
 CENTERED VERTICALLY BETWEEN CANOPY OR DOOR AND
 CORNICE/COPING.
 CREATE PAINT FINISH BREAKS 3' MINIMUM FROM EDGE OF SIGNAGE.

63.1 SQ. FT.

PART # 403-23-CL36-PUCRTWH

SCALE: 1/2" = 1'-0"



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Rev. #1	_____	_____	Rev. #4	_____	_____
Rev. #2	_____	_____	Rev. #5	_____	_____
Rev. #3	_____	_____	Rev. #6	_____	_____

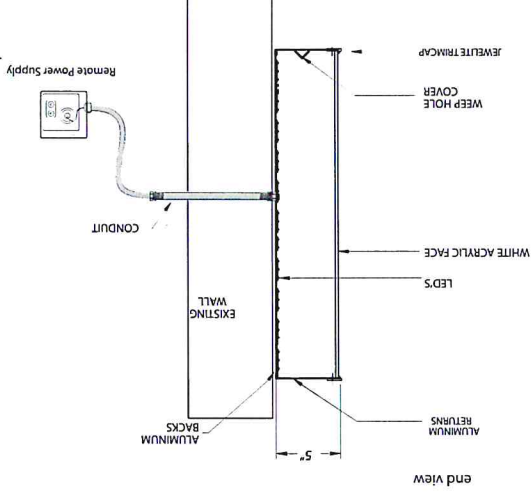
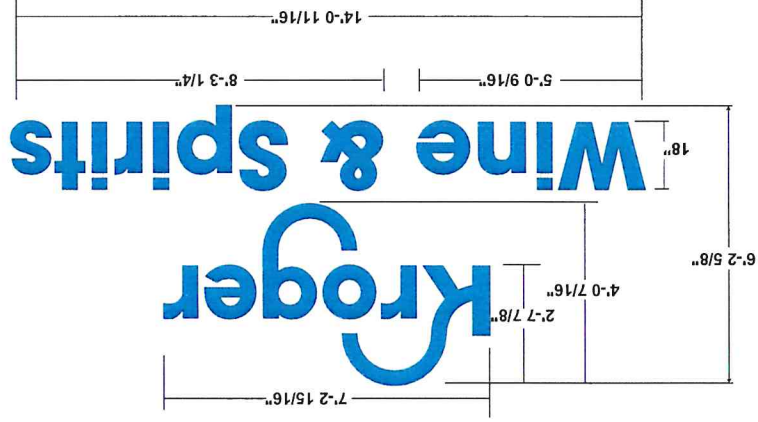
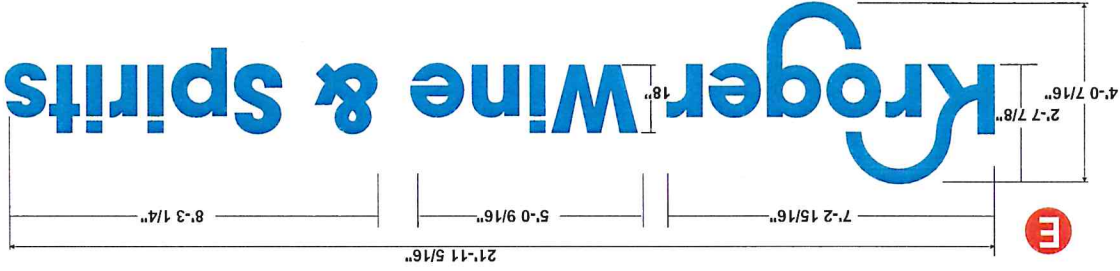


DRAWING NO:
 7699332377.02A1
 DATE: 6.27.2023
 S. Hawke

2022 KROGER WINE & SPIRITS - REMOTE

- Aluminum channel letters with returns painted Kroger Blue
- 1" trim cap face retainers - Kroger Blue.
- White plex faces with translucent vinyl applied to first surface.
- Letters internally illuminated with LEDs.

3730-8537 KROGER BLUE



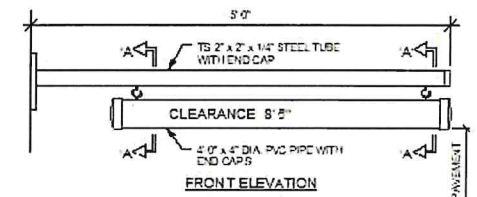
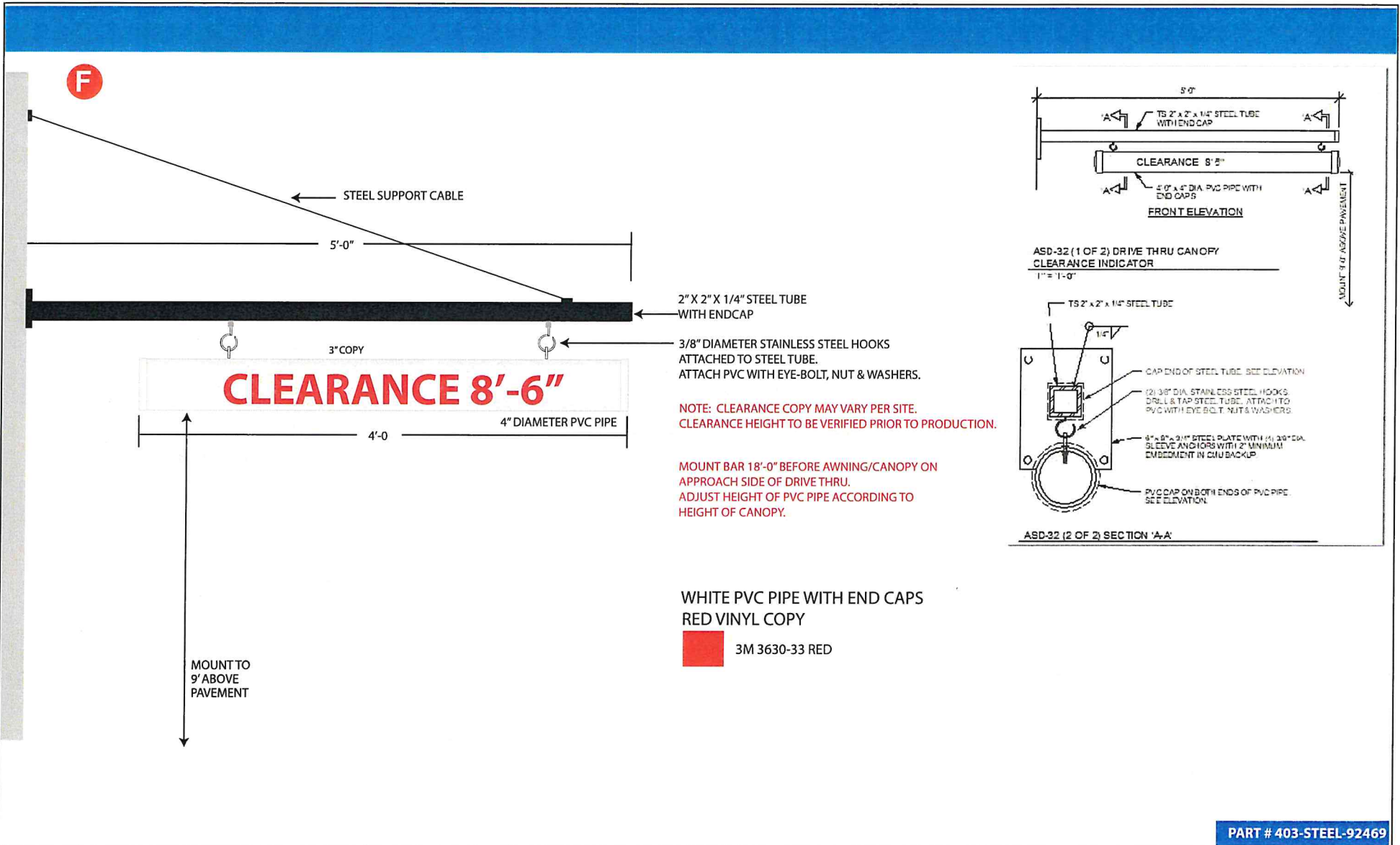
PART # 403-22-CL18-KWS-R-B

DRAWING NO: 813346919 03A1 DATE: 3.23.2023 S. HAWKE		Rev. #6	Rev. #3	DATE: _____ CUSTOMER APPROVAL: _____	THIS IS AN ORIGINAL UNPUBLISHED DRAWING CREATED FOR YOUR PERSONAL USE IN CONNECTION WITH A PROJECT PLANNED FOR YOU BY CUMMINGS SIGNS. IT IS NOT TO BE SHOWN OUTSIDE YOUR ORGANIZATION NOR USED, REPRODUCED, COPIED OR EXHIBITED IN ANY FASHION UNLESS AUTHORIZED IN WRITING BY AN OFFICER OF CUMMINGS SIGNS.
		Rev. #5	Rev. #2		
		Rev. #4	Rev. #1		
		DATE	DATE		
		BY	BY		

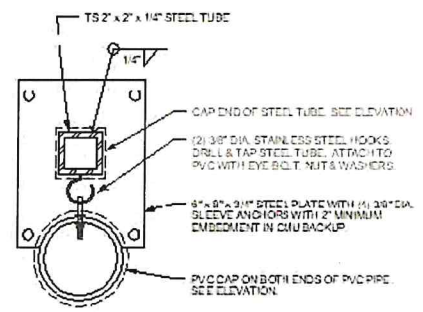
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Scale: 3/8" = 1'-0"



ASD-32 (1 OF 2) DRIVE THRU CANOPY CLEARANCE INDICATOR
1" = 1'-0"



ASD-32 (2 OF 2) SECTION 'A-A'

2" X 2" X 1/4" STEEL TUBE WITH ENDCAP
3/8" DIAMETER STAINLESS STEEL HOOKS ATTACHED TO STEEL TUBE. ATTACH PVC WITH EYE-BOLT, NUT & WASHERS.

NOTE: CLEARANCE COPY MAY VARY PER SITE. CLEARANCE HEIGHT TO BE VERIFIED PRIOR TO PRODUCTION.

MOUNT BAR 18"-0" BEFORE AWNING/CANOPY ON APPROACH SIDE OF DRIVE THRU. ADJUST HEIGHT OF PVC PIPE ACCORDING TO HEIGHT OF CANOPY.

WHITE PVC PIPE WITH END CAPS
RED VINYL COPY
3M 3630-33 RED

PART # 403-STEEL-92469



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Rev. #1	_____	_____	Rev. #4	_____	_____
Rev. #2	_____	_____	Rev. #5	_____	_____
Rev. #3	_____	_____	Rev. #6	_____	_____



DRAWING NO:
92525.01
DATE: 3-4-2019
S. Hawke



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CUSTOMER APPROVAL: _____
 DATE: _____

Rev. #1	DATE	BY
10-11-2011	S.H.	
Rev. #2	DATE	BY
10-20-2014	S.H.	
Rev. #3	DATE	BY

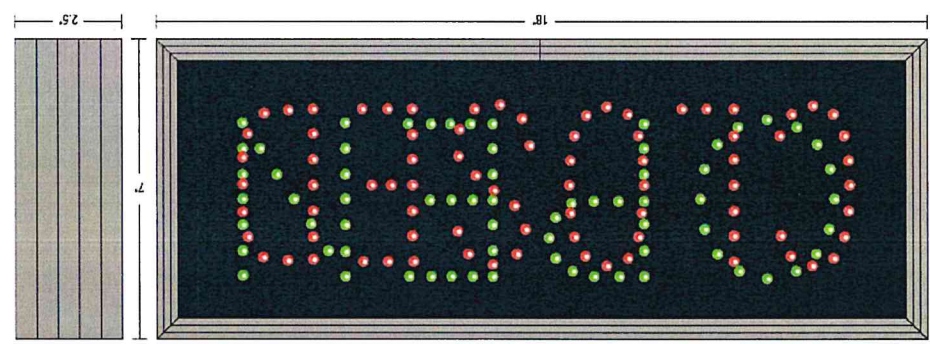
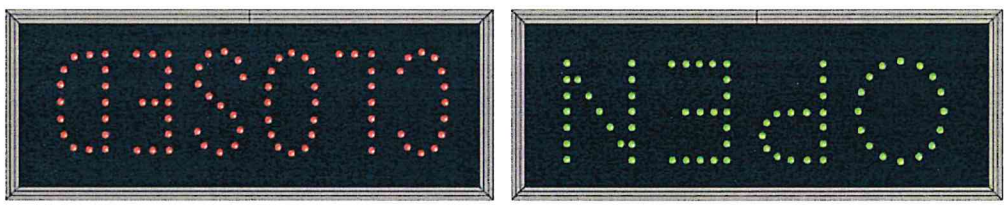
Rev. #4	DATE	BY
Rev. #5	DATE	BY
Rev. #6	DATE	BY



DRAWING NO:	55160
DATE:	5-13-09
BY:	S. Hawke

403-TCL718GR-100LED

NOTE: THIS SIGN REQUIRES A 120V CONNECTION,
 A 277V CONNECTION WILL REQUIRE A
 STEP DOWN TRANSFORMER.

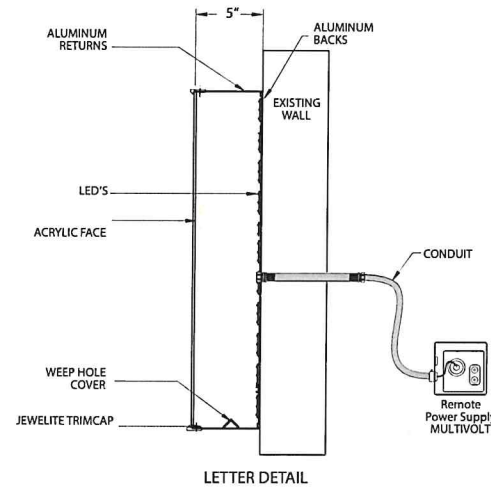
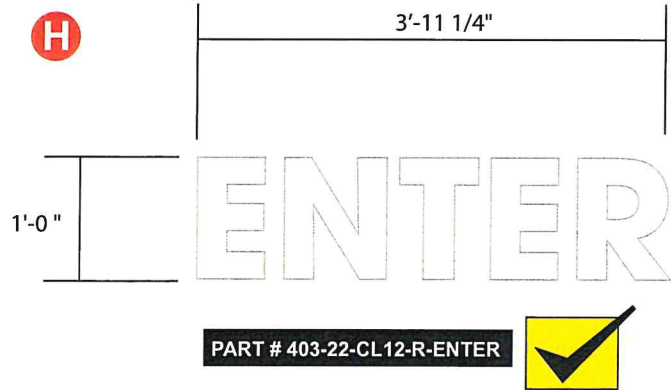


SINGLE FACE LED
 ILLUMINATED SIGN.
 BRONZE CABINET.
 RED AND GREEN LED'S.
 POLYCARBONATE FACE.
 MESSAGES "BLANK OUT"
 WHEN TURNED OFF -
 ELIMINATING CONFUSION.



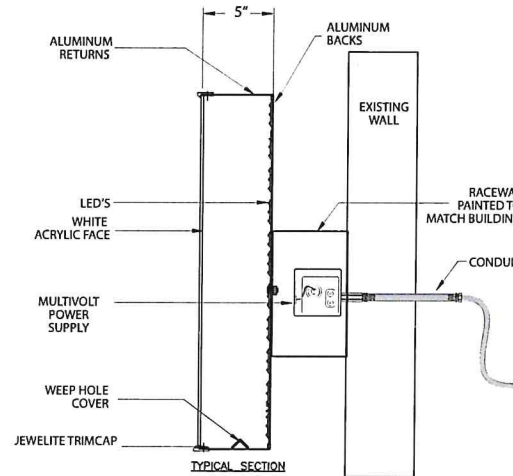
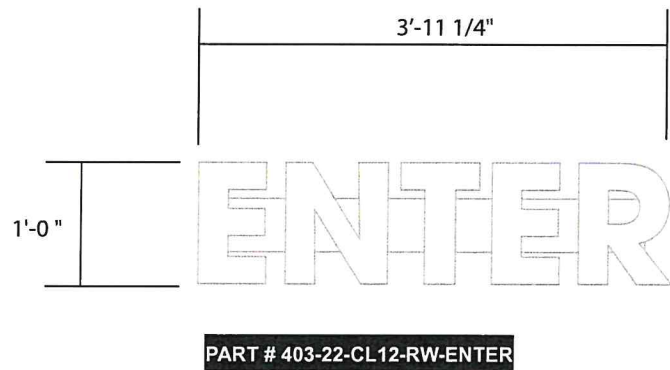
DRIVE THRU CANOPY SIGNAGE - 2022

REMOTE LETTER SET Preferred



- WHITE ACRYLIC FACE
- RETAINER: WHITE
- FILLER: WHITE

RACEWAY MOUNT LETTER SET Optional - based on conditions



- WHITE ACRYLIC FACE
- RETAINER: WHITE
- FILLER: WHITE

3.9 SQ. FT.



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CUSTOMER APPROVAL:

DATE: _____

Rev. #	DATE	BY	Rev. #	DATE	BY
Rev. #1	_____	_____	Rev. #4	_____	_____
Rev. #2	_____	_____	Rev. #5	_____	_____
Rev. #3	_____	_____	Rev. #6	_____	_____

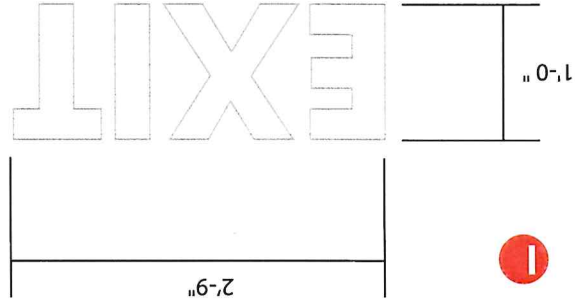


DRAWING NO:
809507286.00A

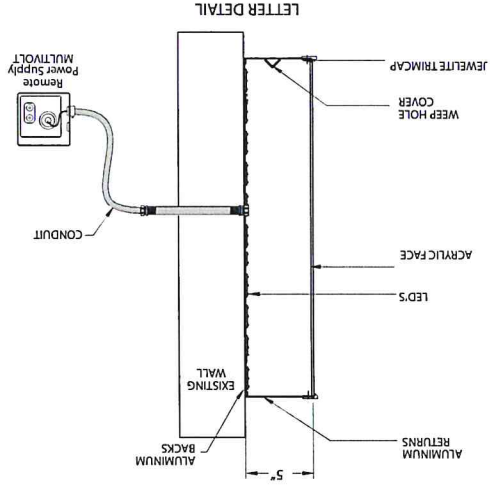
DATE: 12-16-2021
S. Hawke

DRIVE THRU CANOPY SIGNAGE - 2022

REMOTE LETTER SET Preferred

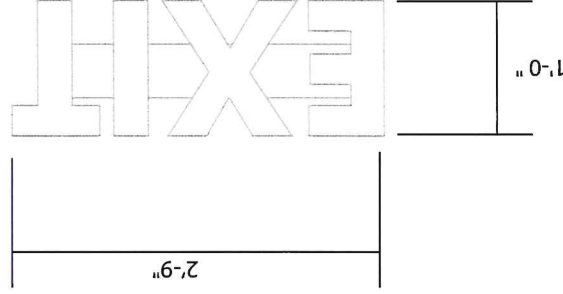


PART # 403-22-CL12-R-EXIT

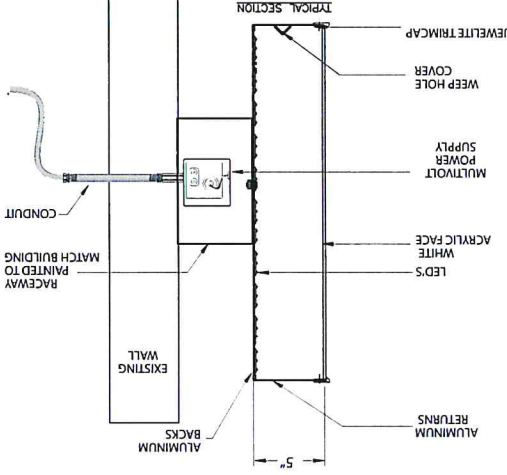


- WHITE ACRYLIC FACE
- RETAINER: WHITE
- FILLER: WHITE

RACEWAY MOUNT LETTER SET Optional - based on conditions



PART # 403-22-CL12-RW-EXIT



- WHITE ACRYLIC FACE
- RETAINER: WHITE
- FILLER: WHITE

2.75 SQ. FT.



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CUSTOMER APPROVAL: _____ DATE: _____

Rev. #1	DATE	BY
Rev. #2	DATE	BY
Rev. #3	DATE	BY
Rev. #4	DATE	BY
Rev. #5	DATE	BY
Rev. #6	DATE	BY

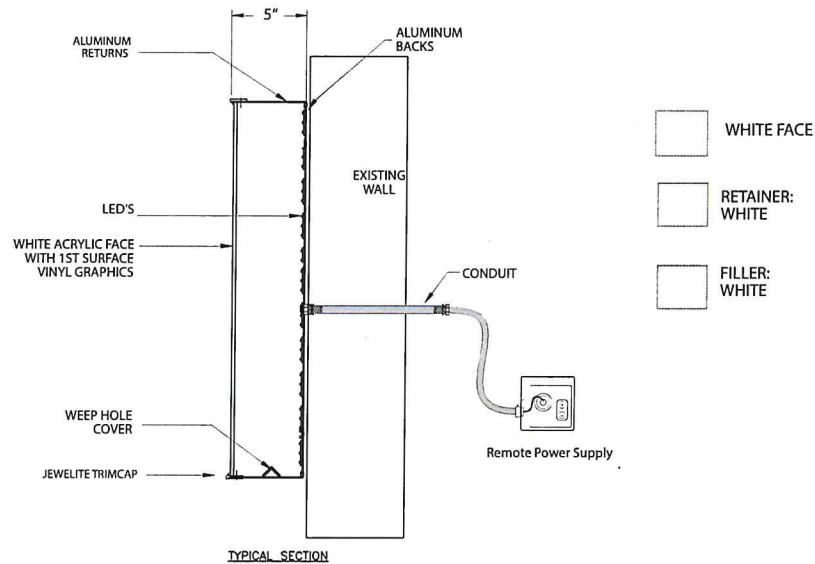


DRAWING NO: 809507286.008
DATE: 12-16-2021
S. Hawke

J

16" PHARMACY DRIVE THRU

22'-0"



29.3 SQ. FT.



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DATE: _____

Rev. #	DATE	BY	Rev. #	DATE	BY
Rev. #1	_____	_____	Rev. #4	_____	_____
Rev. #2	_____	_____	Rev. #5	_____	_____
Rev. #3	_____	_____	Rev. #6	_____	_____



DRAWING NO:
809507172.00A

DATE: 12-10-2021
S. Hawke



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CUSTOMER APPROVAL: _____
DATE: _____

Rev. #1 _____ DATE _____ BY _____
Rev. #2 _____
Rev. #3 _____

Rev. #4 _____ DATE _____ BY _____
Rev. #5 _____
Rev. #6 _____

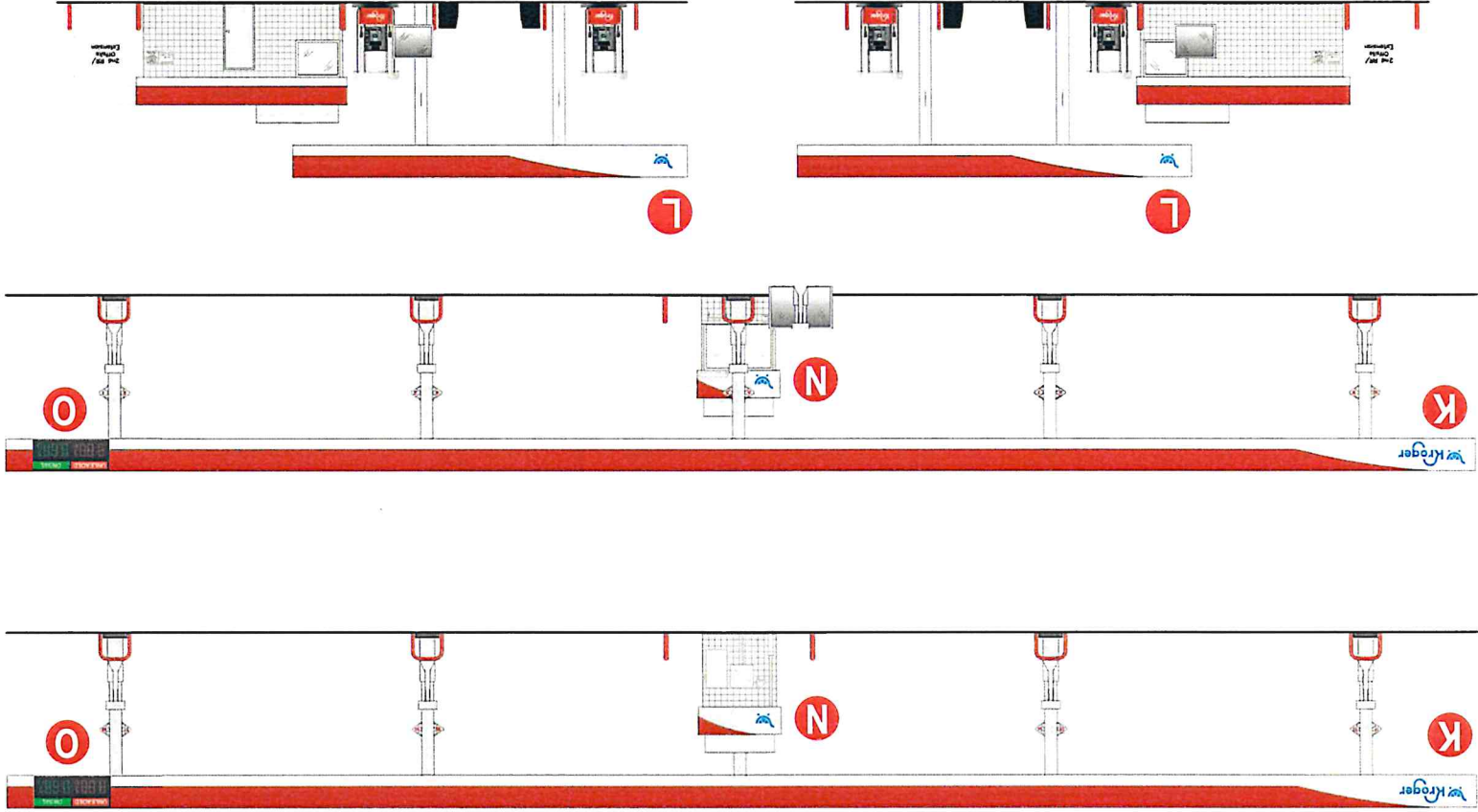


DRAWING NO: 1380589372.04
DATE: 09.13.2024
J. Allington

KROGER #976
MARTHA LAYNE COLLINS
Cold Springs KY

9 DISPENSERS, 1 & 2 RESTROOM KIOSK
JULY 2018

Scale: 3/32" = 1'-0"
This is a three inch scale to confirm size of document



K



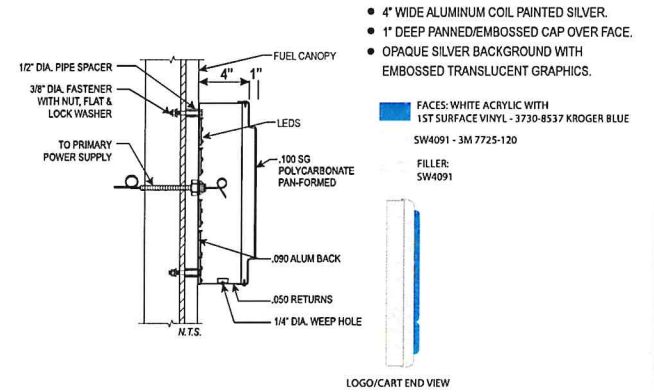
FOR INSTALLATION ON STANDARD 42" CANOPY

SCALE: 3/4" = 1'-0"



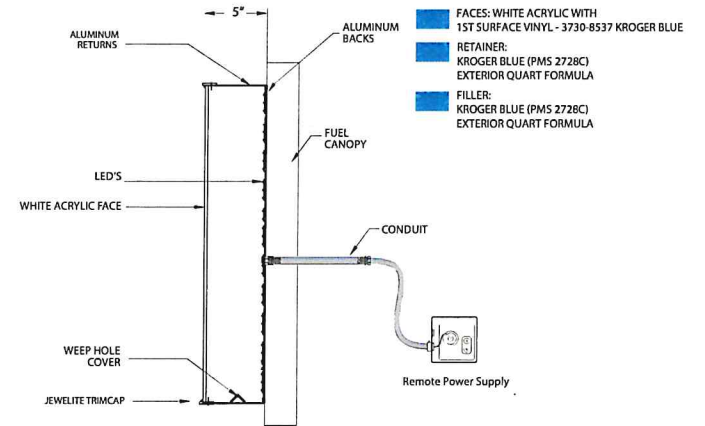
SCALE: 3/8" = 1'-0"

CART/LOGO DETAIL



LOGO/CART END VIEW

LETTER DETAIL



****Install instructions per SPG requirement - Kroger specifications require secondary wiring on gas canopies to be contained within conduit as provided by Cummings.**

24.6 SQ. FT.



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Rev. #	DATE	BY	Rev. #	DATE	BY
Rev. #1	_____	_____	Rev. #4	_____	_____
Rev. #2	_____	_____	Rev. #5	_____	_____
Rev. #3	_____	_____	Rev. #6	_____	_____



DRAWING NO:
809686509.11A
DATE: 10.10.2023
S. Hawke

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Cummins (a division of Cummins Inc.)
CUMMINS

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CUSTOMER APPROVAL: _____
 DATE: _____

Rev. #1 _____ DATE _____ BY _____
 Rev. #2 _____
 Rev. #3 _____

Rev. #4 _____ DATE _____ BY _____
 Rev. #5 _____
 Rev. #6 _____

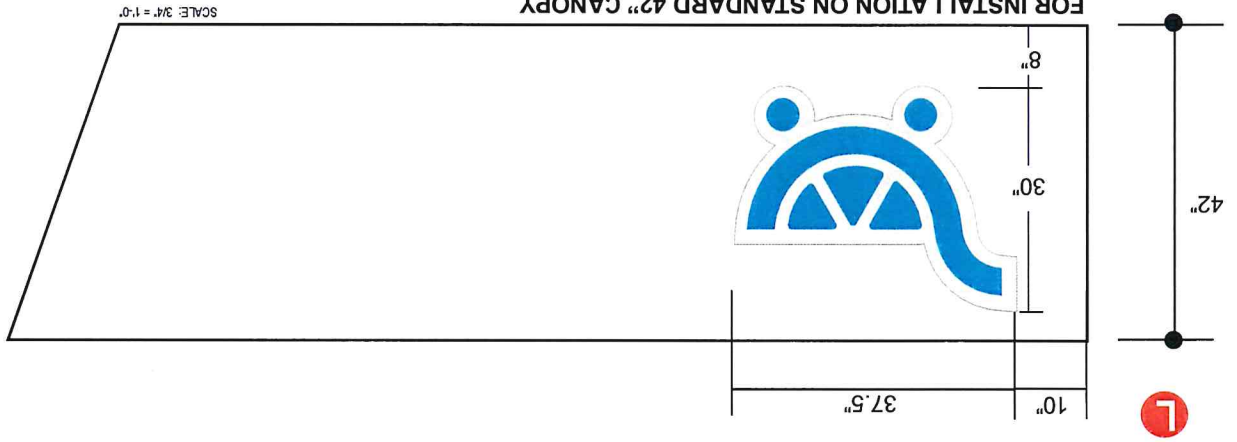


DRAWING NO: 809686509.11E
 DATE: 10.10.2023
 S. Hawke

****Install instructions per SPG requirement - Kroger specifications require secondary wiring on gas canopies to be contained within conduit as provided by Cummins.**



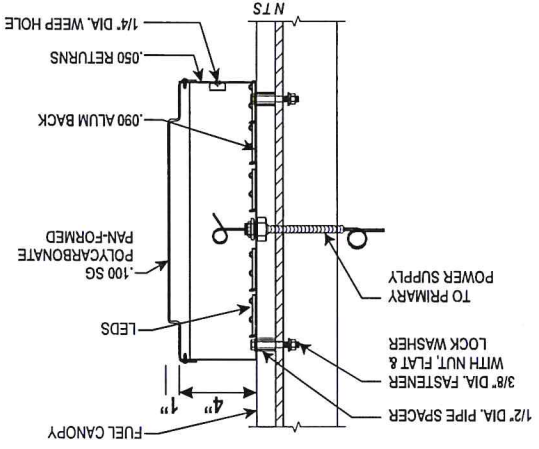
FOR INSTALLATION ON STANDARD 42" CANOPY



CART/LOGO DETAIL

- 4" WIDE ALUMINUM COIL PAINTED SILVER.
- 1" DEEP PANNED/EMBOSSED CAP OVER FACE.
- OPAQUE SILVER BACKGROUND WITH EMBOSSED TRANSLUCENT GRAPHICS.

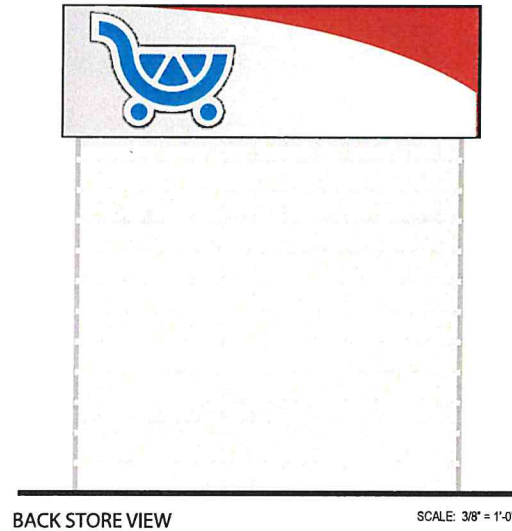
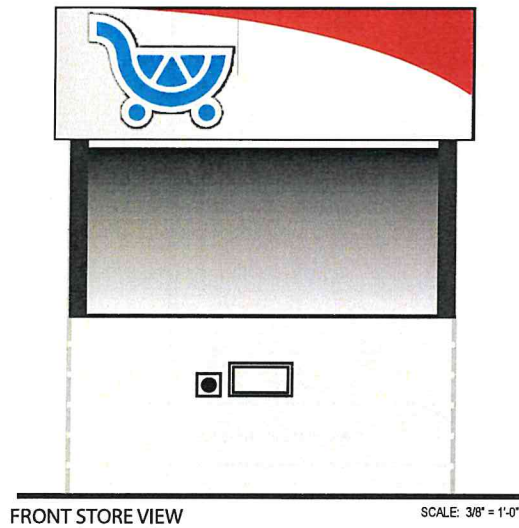
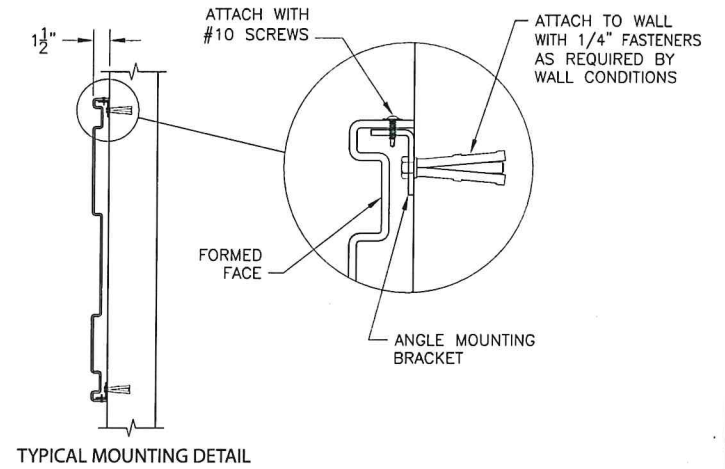
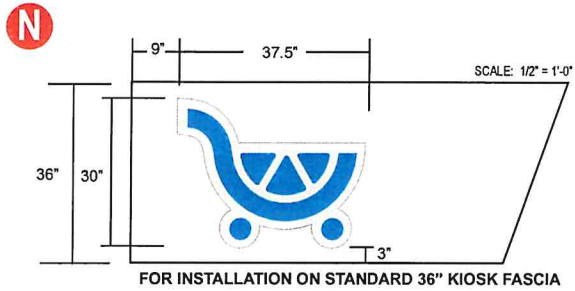
FACES: WHITE ACRYLIC WITH
 1ST SURFACE VINYL - 3730-8537 KROGER BLUE
 SW4691 - 3M 7725-120
 FILLER:
 SW4691




7.8 SQ. FT.

2023 FUEL KIOSK LETTER SET

NON-ILLUMINATED



FACES: FORMED WHITE POLYCARBONATE FACES WITH EMBOSSED GRAPHICS.

 3730-8537 KROGER BLUE

 SILVER

7.8 SQ. FT.



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CUSTOMER APPROVAL:

DATE: _____

	DATE	BY
Rev. #1	3.30.2023	S.H.
Rev. #2	_____	_____
Rev. #3	_____	_____

	DATE	BY
Rev. #4	_____	_____
Rev. #5	_____	_____
Rev. #6	_____	_____



DRAWING NO:
1053010211.02A
DATE: 05.02.2023
J.Allington

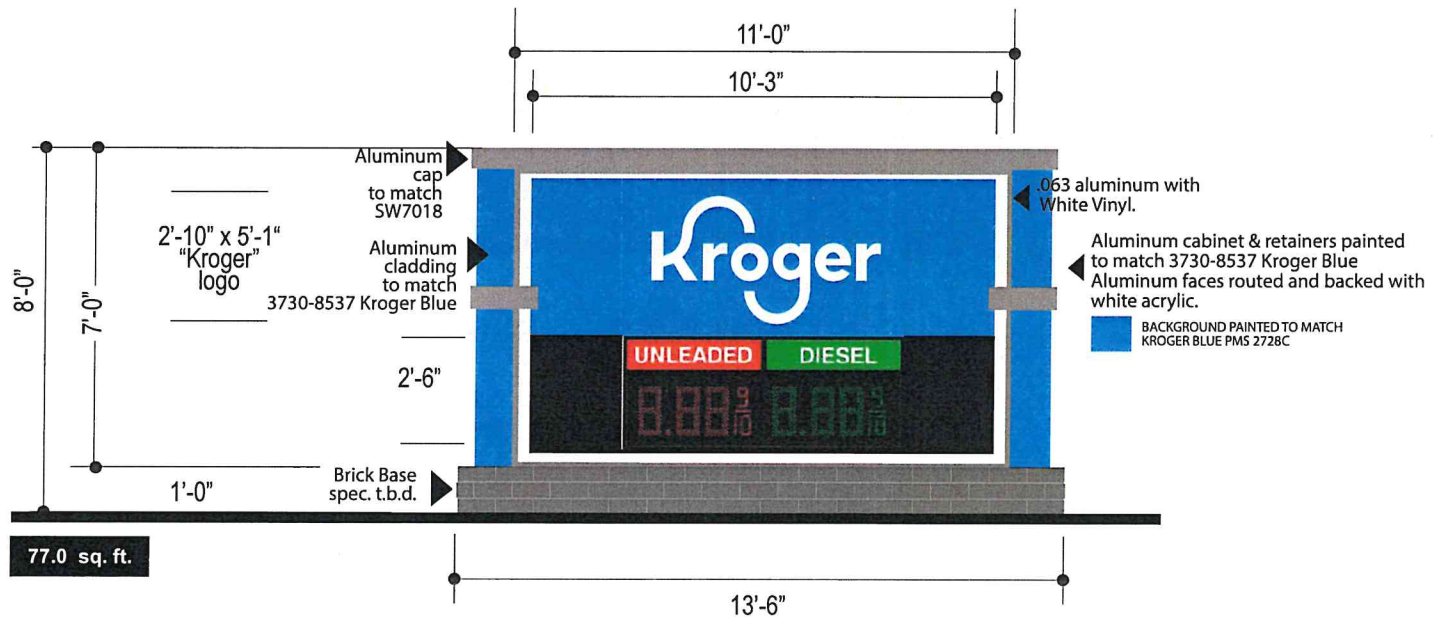
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PRELIMINARY

M1

- 3730-8537 KROGER BLUE
- WHITE
- SW7018

INSTALLATION TO INCLUDE FOUNDATION WORK .
ENGINEERING REQUIRED.



Verification of specs/design required for permitting/installation.
LED digital price signs require 24 hour dedicated circuit
(provided by others) for operation of price sign to remain on all at all times..

SCALE: 3/8" = 1'-0"



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Rev. #3	_____	_____

Rev. #	DATE	BY
Rev. #4	_____	_____
Rev. #5	_____	_____
Rev. #6	_____	_____



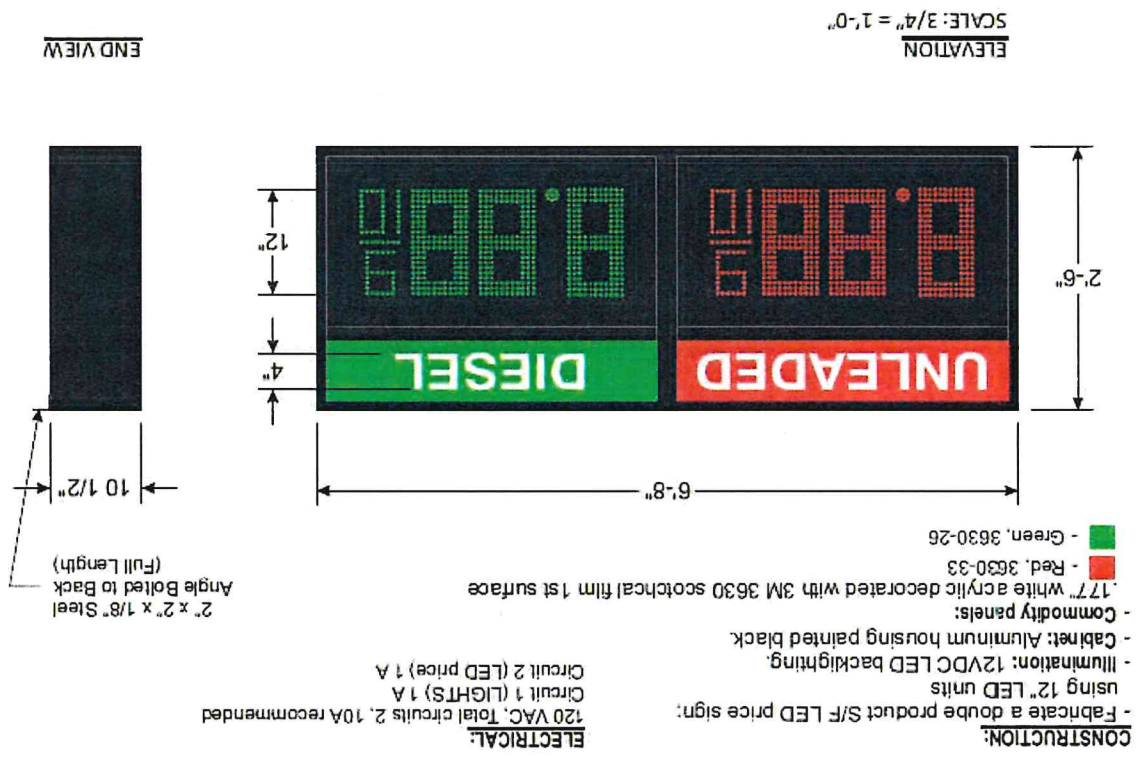
DRAWING NO:
1284213854.00B2
DATE: 1.18.2024
S. Hawke

THIS DESIGN REMAINS OUR EXCLUSIVE PROPERTY AND CANNOT BE DUPLICATED WITHOUT WRITTEN CONSENT

12in Double Product, Single Face

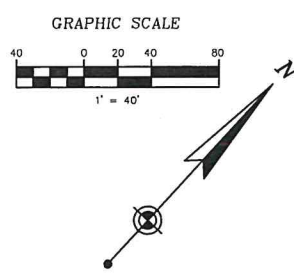
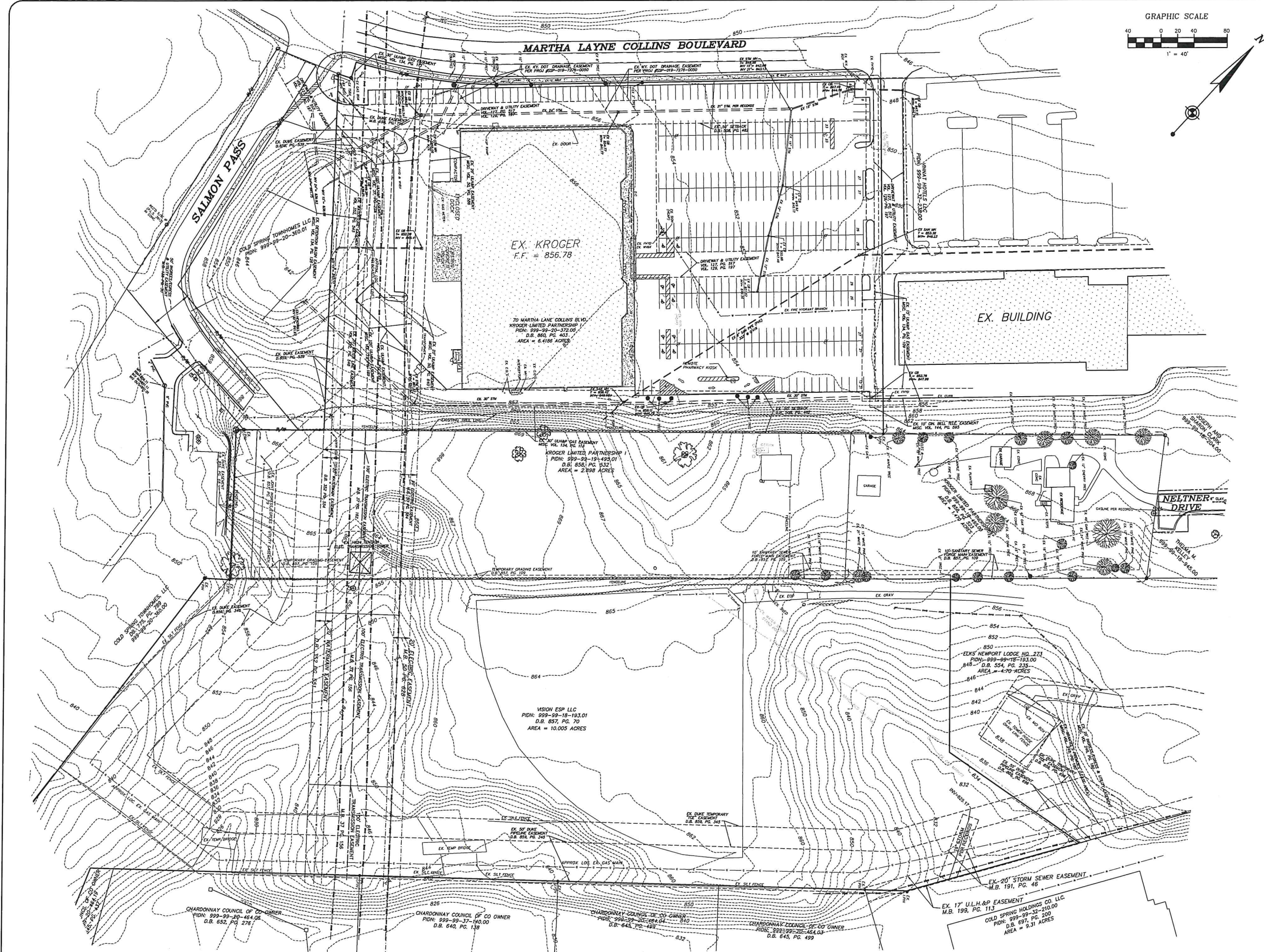
Coupa # 555011 (Part number also used for retrofitting existing custom signs)

Standard Commodities/Colors shown.
IF non-standard (PREMIUM, E85, etc.) Specify in Coupa "NOTES"



*Contact Landmark to discuss your specific needs.

SIGNARFA: 16.67 sqft



tga
THOMAS GRAHAM ASSOCIATES, INC.
 • Engineers
 • Surveyors

803 Compton Road
 Cincinnati, Ohio 45231
 513-521-4760
 Fax # 521-2439

Date: SEPT. 10, 2024
 Scale: 1" = 40'
 Job No: 7677

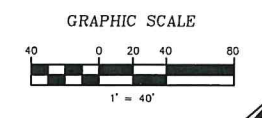
Revisions	
No.	Date

EXISTING CONDITIONS PLAN

CITY OF COLD SPRING
 CAMPBELL COUNTY, KY

KROGER STORE # **976-A**
 Drawn By: **R.J. TRENKAMP**
 Sheet
CO.0
 Job No: 7677-23

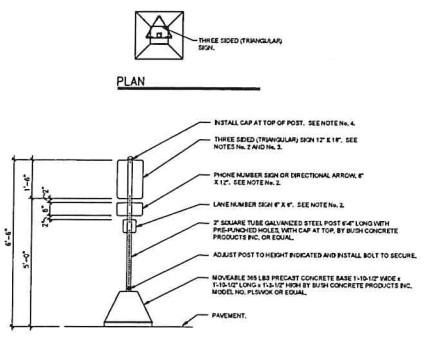
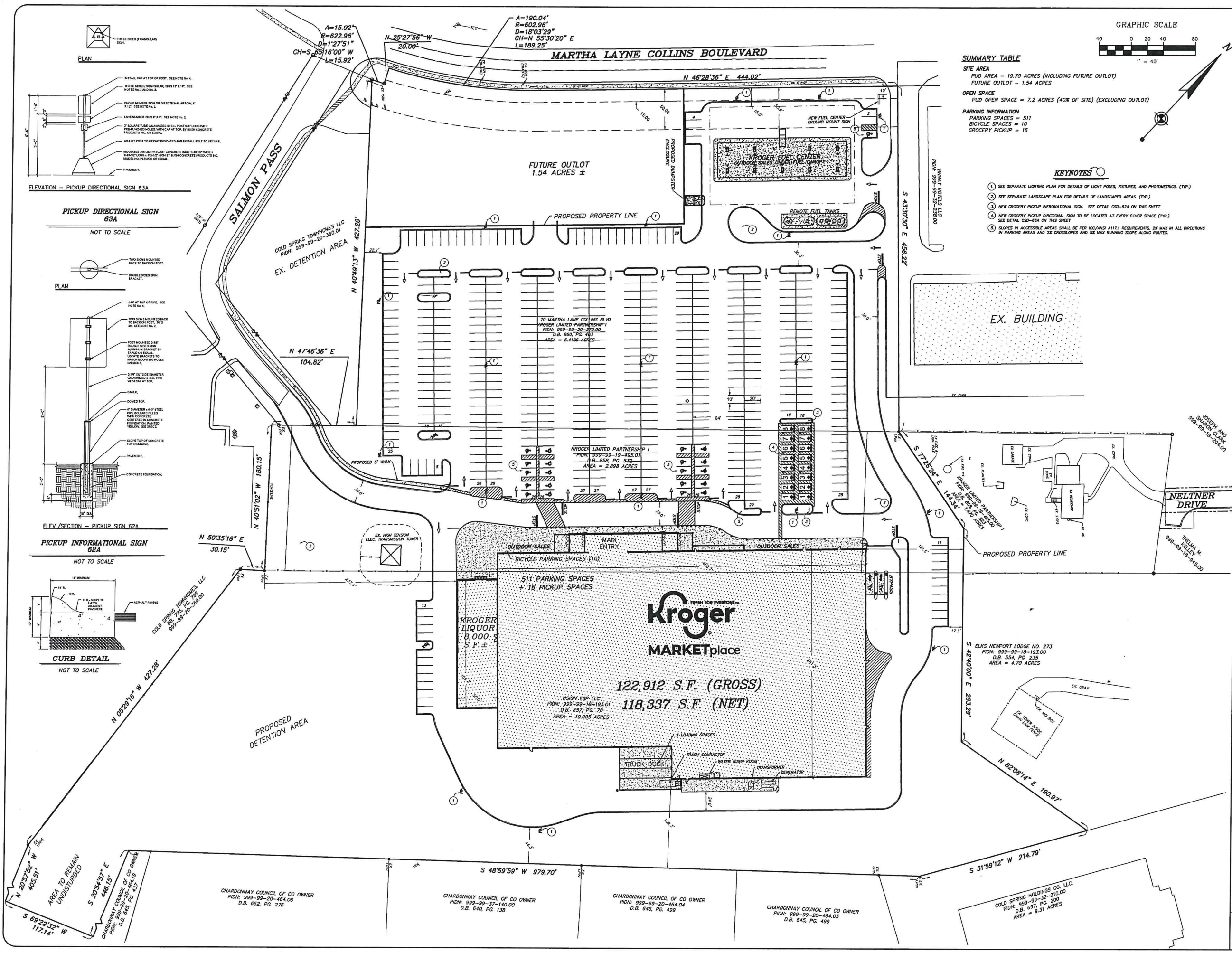
ACAD FILENAME: 7677_976_BASE_ZONING.DWG



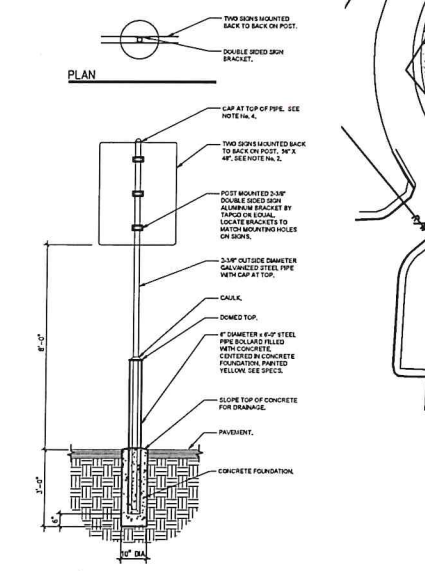
SUMMARY TABLE
SITE AREA
 PUD AREA - 19.70 ACRES (INCLUDING FUTURE OUTLOT)
 FUTURE OUTLOT - 1.54 ACRES
OPEN SPACE
 PUD OPEN SPACE = 7.2 ACRES (40% OF SITE) (EXCLUDING OUTLOT)
PARKING INFORMATION
 PARKING SPACES = 511
 BICYCLE SPACES = 10
 GROCERY PICKUP = 16

- KEYNOTES**
- SEE SEPARATE LIGHTING PLAN FOR DETAILS OF LIGHT POLES, FIXTURES, AND PHOTOMETRICS (TYP.)
 - SEE SEPARATE LANDSCAPE PLAN FOR DETAILS OF LANDSCAPED AREAS (TYP.)
 - NEW GROCERY PICKUP INFORMATIONAL SIGN. SEE DETAIL CS2-62A ON THIS SHEET
 - NEW GROCERY PICKUP DIRECTIONAL SIGN TO BE LOCATED AT EVERY OTHER SPACE (TYP.)
 - SLOPES IN ACCESSIBLE AREAS SHALL BE PER ICC/ANSI A117.1 REQUIREMENTS. SEE MAX IN ALL DIRECTIONS IN PARKING AREAS AND 2% CROSS-SLOPES AND 5% MAX RUNNING SLOPE ALONG ROUTES.

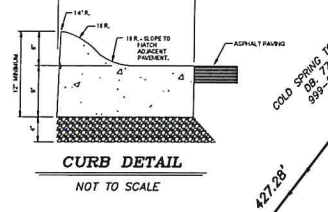
SITE LAYOUT PLAN
 CITY OF COLD SPRING
 CAMPBELL COUNTY, KY



PICKUP DIRECTIONAL SIGN 63A
 NOT TO SCALE



PICKUP INFORMATIONAL SIGN 62A
 NOT TO SCALE

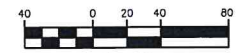


CURB DETAIL
 NOT TO SCALE

NOTES

1. STORMWATER DETENTION AND WATER QUALITY IMPROVEMENTS WILL BE PROVIDED PER SDI AND APPLICABLE STATE/COUNTY REQUIREMENTS.
2. A KPDES PERMIT WILL BE ACQUIRED PRIOR TO THE COMMENCEMENT OF ANY SITE WORK. EROSION AND SEDIMENT CONTROLS WILL BE ESTABLISHED AROUND THE PERIMETER OF THE SITE BEFORE ANY EARTH DISTURBING ACTIVITIES HAVE BEGUN. SPECIFICALLY, SILT FENCING, MULCH BERM, ETC. WILL BE USED AS TEMPORARY MEASURES AGAINST SILT WASH INTO THE ADJACENT LAND UNTIL VEGETATIVE COVER CAN BE ESTABLISHED. THESE ITEMS WILL BE SHOWN ON THE SWPPP PLANS.
3. SLOPES IN ACCESSIBLE AREAS SHALL BE PER ADA REQUIREMENTS, 2% MAX IN ALL DIRECTIONS IN PARKING AREAS AND 2% CROSS-SLOPES AND 5% MAX RUNNING SLOPE ALONG ROUTES.
4. ALL MANHOLES, VALVES, CLEANOUTS, ETC. WITHIN THE PROJECT AREA ARE TO BE ADJUSTED TO GRADE AS NEEDED.
5. ALL DOWNSPOUT DRAINAGE WILL BE TIED TO THE PROPOSED STORM SEWER SYSTEM.
6. ANY FUNCTIONAL STORM DRAINAGE PIPES ENCOUNTERED DURING CONSTRUCTION SHALL BE CONNECTED TO THE STORM SEWER SYSTEM OR REROUTED AS NEEDED TO MAINTAIN DRAINAGE FROM UPSTREAM PROPERTIES.

GRAPHIC SCALE



LEGEND

- R/W INDICATES RIGHT OF WAY
- - - - - INDICATES EX. CONTOUR
- — — — — INDICATES PROPOSED CONTOUR

tga
THOMAS GRAHAM ASSOCIATES, INC.
 • Engineers
 • Surveyors
 803 Compton Road
 Cincinnati, Ohio 45231
 513-521-4760
 Fax # 521-2439

Date: **SEPT. 10, 2024**
 Scale: **1" = 40'**
 Job No: **7677**

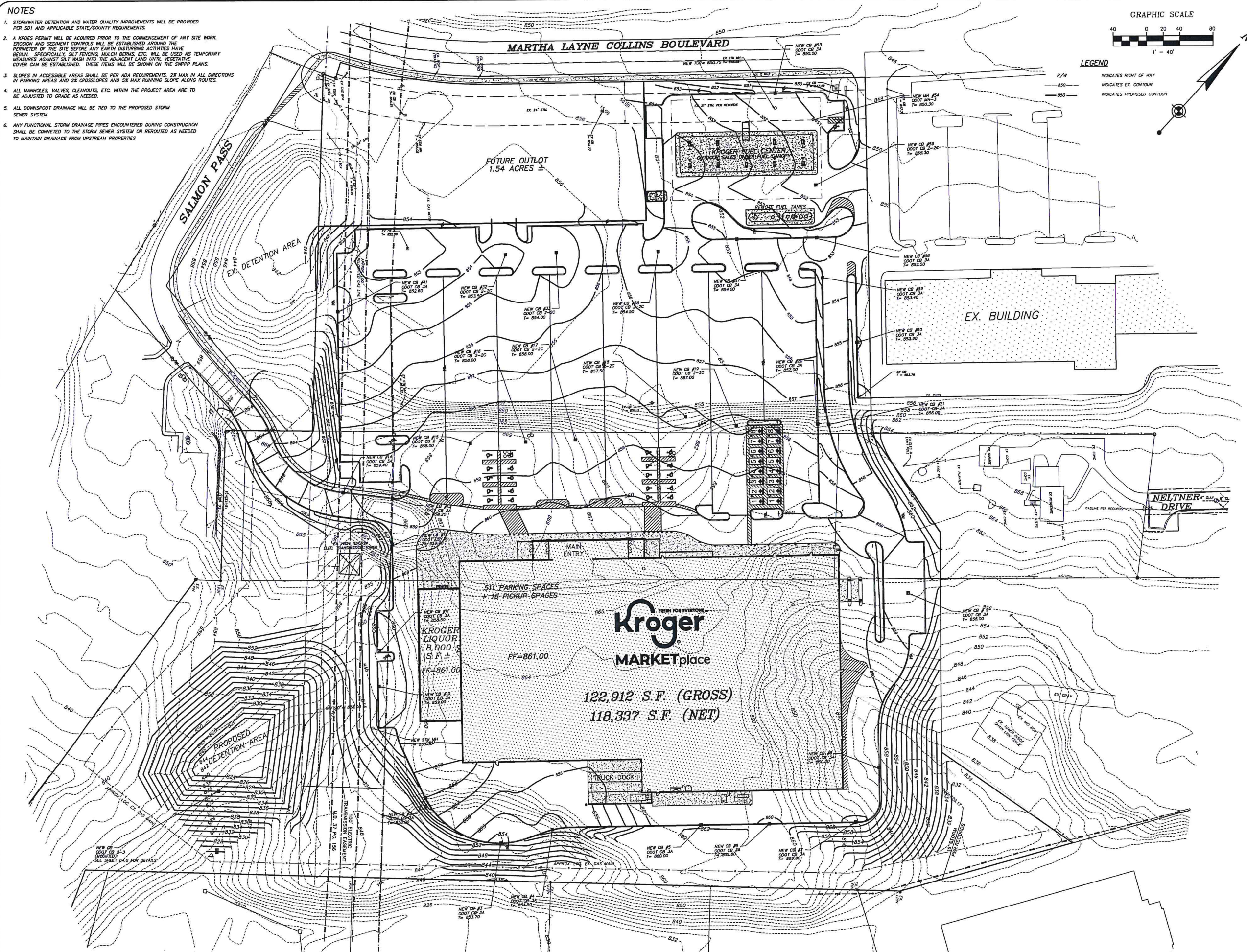
Revisions	
No.	Date

SITE GRADING PLAN

CITY OF COLD SPRING
 CAMPBELL COUNTY, KY

KROGER STORE # **976-A**
 Drawn By: **R.J. TRENKAMP**
 Sheet **C2.0**
 Job No: **7677-23**

ACAD FILENAME: 7677-976-BASE-TOWING.DWG



NOTES

1. STORMWATER DETENTION AND WATER QUALITY IMPROVEMENTS WILL BE PROVIDED PER SD1 AND APPLICABLE STATE/COUNTY REQUIREMENTS.
2. ALL DOWNSPOUT DRAINAGE WILL BE TIED TO THE PROPOSED STORM SEWER SYSTEM.
3. ALL MANHOLES, VALVES, CLEANOUTS, ETC. WITHIN THE PROJECT AREA ARE TO BE ADJUSTED TO GRADE AS NEEDED.
4. ANY FUNCTIONAL STORM DRAINAGE PIPES ENCOUNTERED DURING CONSTRUCTION SHALL BE CONNECTED TO THE STORM SEWER SYSTEM OR REROUTED AS NEEDED TO MAINTAIN DRAINAGE FROM UPSTREAM PROPERTIES.

KEYNOTES

1. SANITARY SEWER SERVICE TO BE PROVIDED PER SD1 REQUIREMENTS
2. WATER SERVICE TO BE PROVIDED PER NORTHERN KENTUCKY WATER DISTRICT REQUIREMENTS.
3. GAS AND ELECTRIC SERVICE TO BE PROVIDED PER DUKE ENERGY REQUIREMENTS

GRAPHIC SCALE



LEGEND

- | | | | |
|---|-------------------------|-------|--|
| D.C. | INDICATES DERESSED CURB | MPS | INDICATES EX. NO. PARKING SIGN |
| M.P. | INDICATES METAL POST | FD | INDICATES EX. FIRE DEPARTMENT CONNECTION |
| 1.P.M. | INDICATES EX. IRON PIN | FD | INDICATES EX. POST INDICATOR VALVE |
| INDICATES EX. LIGHT POLE | | W | INDICATES EX. UNDERGROUND WATER |
| INDICATES EX. TELEPHONE AND ELECTRIC POLE | | G | INDICATES EX. UNDERGROUND GAS |
| INDICATES EX. CUY. WIRE | | E | INDICATES EX. OVERHEAD ELECTRIC WIRE |
| INDICATES EX. SINGLE GRATE INLET | | W | INDICATES EX. OVERHEAD WATER |
| INDICATES EX. INLET (2X2) | | SS | INDICATES EX. SANITARY SEWER LATERAL |
| INDICATES EX. FIRE HYDRANT | | CONC | INDICATES EX. CONCRETE PAVEMENT |
| INDICATES EX. STORM SEWER | | STRIP | INDICATES EX. PAVEMENT STRIPPING |
| INDICATES EX. SANITARY SEWER | | RAIL | INDICATES EX. GUARD RAIL |
| INDICATES EX. MANHOLE | | FENCE | INDICATES EX. FENCE |
| INDICATES EX. CLEAN OUT | | | |
| INDICATES EX. DOWNSPOUT | | | |
| INDICATES EX. METAL POST | | | |
| R/W | INDICATES RIGHT OF WAY | | |

PROPOSED UTILITY LEGEND

- SS - INDICATES PROPOSED SAN. LATERAL (CONFORM SIZE WITH MEP)
- G - INDICATES PROPOSED GAS SERVICE LINE (CONFORM SIZE WITH MEP)
- W - INDICATES PROPOSED WATER MAIN (CONFORM SIZE WITH MEP)
- F - INDICATES PROPOSED F. FIRE LINE (CONFORM SIZE WITH MEP)
- D - INDICATES PROPOSED D. DOMESTIC WATER LINE (CONFORM SIZE WITH MEP)
- C - INDICATES PROPOSED COMMUNICATION/DATA CONDUIT
- E - INDICATES PROPOSED ELECTRIC SERVICE/CONDUIT
- L - INDICATES PROPOSED LIGHT POLE

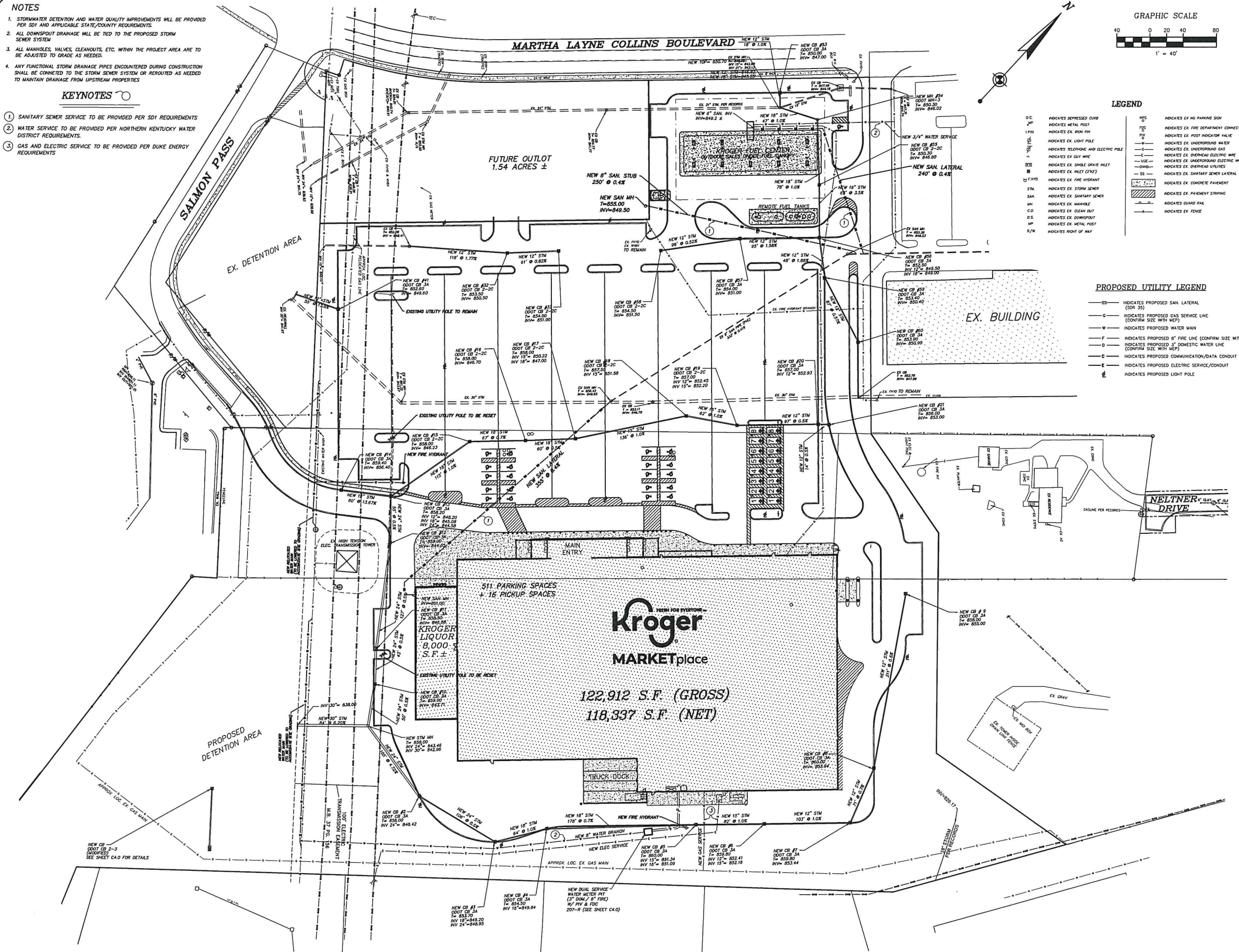


Date: **SEPT. 10, 2024**
 Scale: **1" = 40'**
 Job No: **7677**

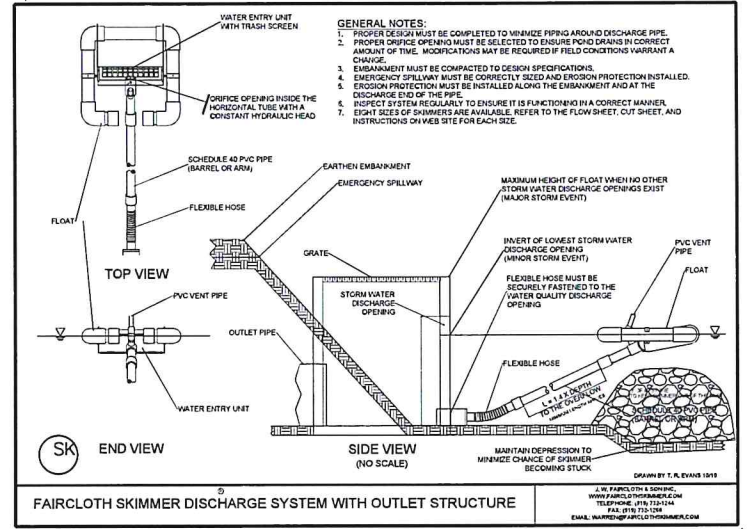
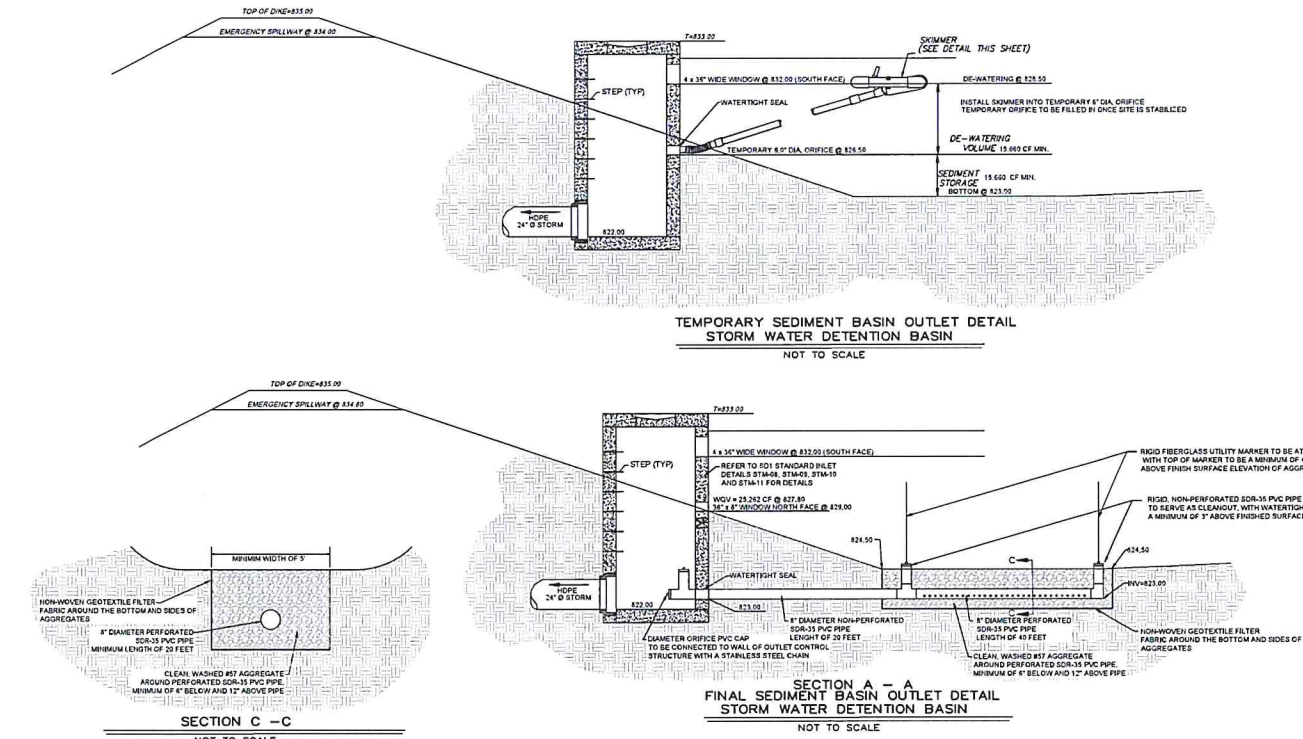
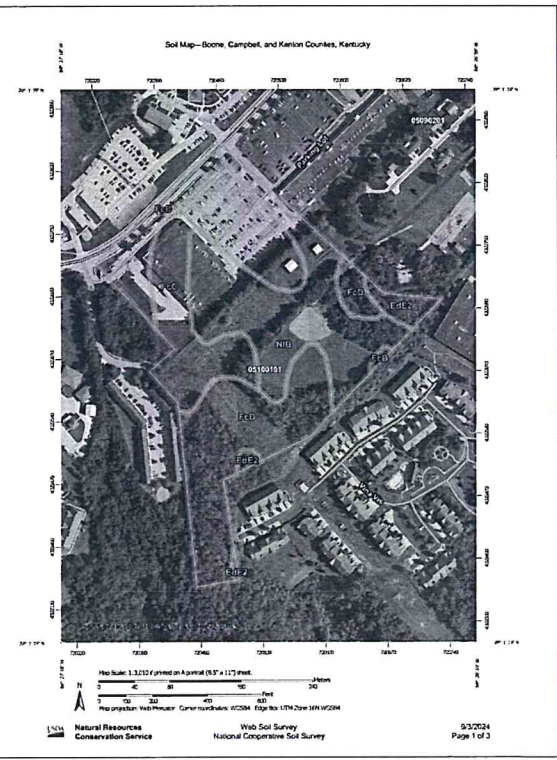
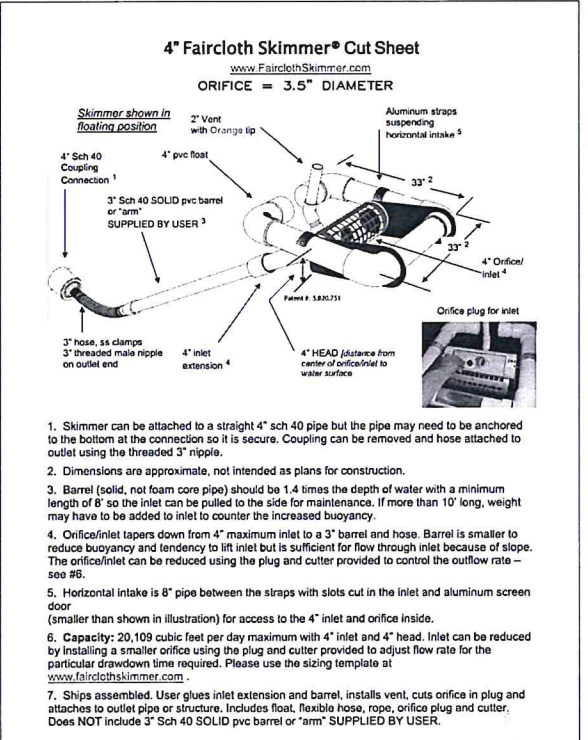
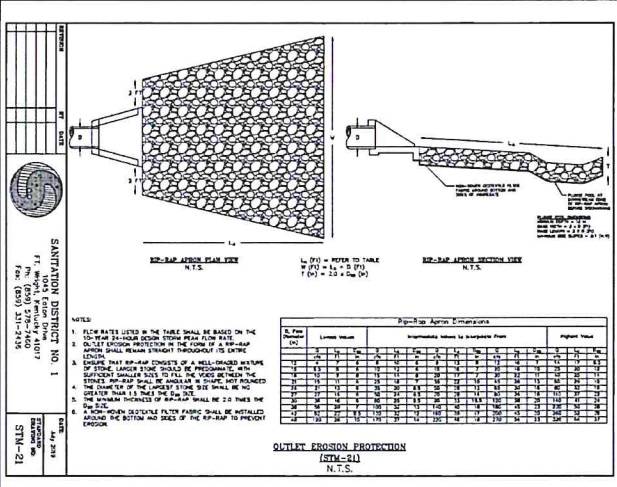
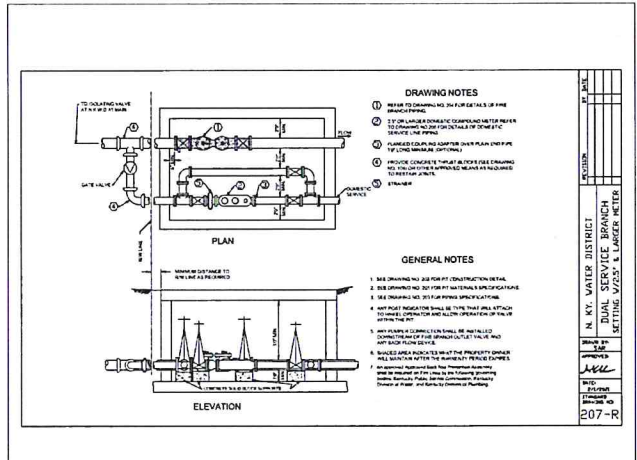
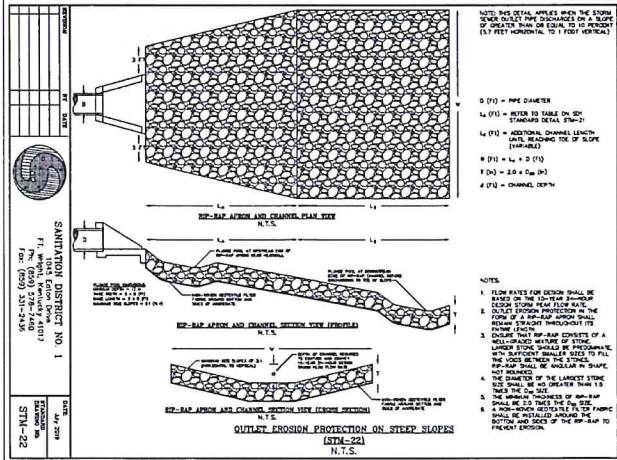
Revisions	
No.	Date

SITE UTILITY PLAN
 CITY OF COLD SPRING
 CAMPBELL COUNTY, KY

KROGER STORE # **976-A**
 Drawn By: **R.J. TRENKAMP**
 Sheet **C3.0**
 Job No: **7677-23**



ACAD FILENAME: 7677-076-BASE-ZONING.DWG



NOTE: THIS IS THE FINAL CONFIGURATION FOR THE STORM WATER QUALITY/DETENTION POND. THIS STEP TO BE COMPLETED ONCE THE SITE IS STABILIZED AND THE SEDIMENT IS REMOVED FROM THE BASIN

THE SKIMMER IS FOR EROSION CONTROL ONLY. ONCE THE SITE IS STABILIZED THE SKIMMER IS TO BE REMOVED.

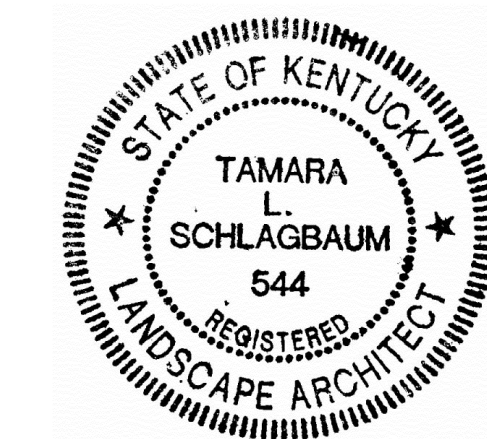
tga
THOMAS GRAHAM ASSOCIATES, INC.
• Engineers
• Surveyors
803 Compton Road
Cincinnati, Ohio 45231
513-521-4760
Fax # 521-2439

Date: SEPT. 10, 2024
Scale: 1" = 40'
Job No: 7677

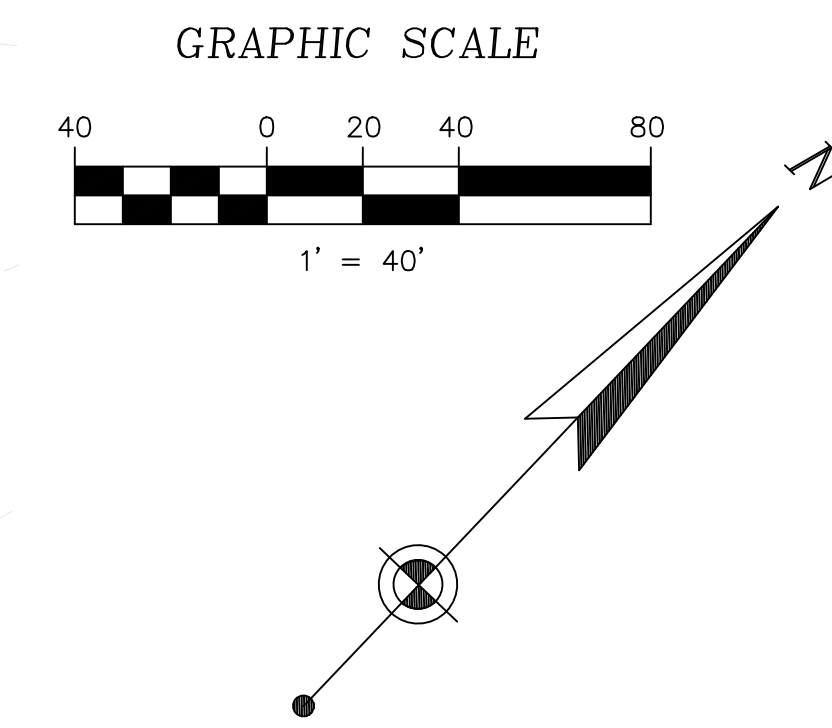
Revisions
No. Date

SITE DETAILS
CITY OF COLD SPRING
CAMPELL COUNTY, KY

KROGER STORE # 976-A
Drawn By: R.J. TRENKAMP
Sheet: C4.0
Job No: 7677-23



DATE: SEPTEMBER 9, 2024
EXPIRES: JUNE 30, 2025



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2 CROWNE POINT COURT
CINCINNATI, OHIO 45241
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Date:	SEPTEMBER 9, 2024
Scale:	AS SHOWN
Job No:	F7X99001-WBS 24
Revisions	
No.	Date

TREE SURVEY

**KROGER
CITY OF COLD SPRING
CAMPBELL COUNTY, KENTUCKY**

Drawn By: T. SCHLAG

Sheet

LS1

Job No: F7X99001 WBS 24

AREA B
64,272 SF

MATCHLINE

TREE #1
15" OAK

TREE #2
12" DEAD

TREE #3
10" OAK

TREE #4
8" OAK

TREE #5
3" DEAD

TREE #6
10" MAPLE

TREE #7
16" OAK

TREE #8
24" HACKBERRY

AREA A
1,189 SF

NOTE:
1. EXISTING TREE DENSITY CALCULATION
SEE PLANT SCHEDULE ON SHEET LS2

MATCHLINE

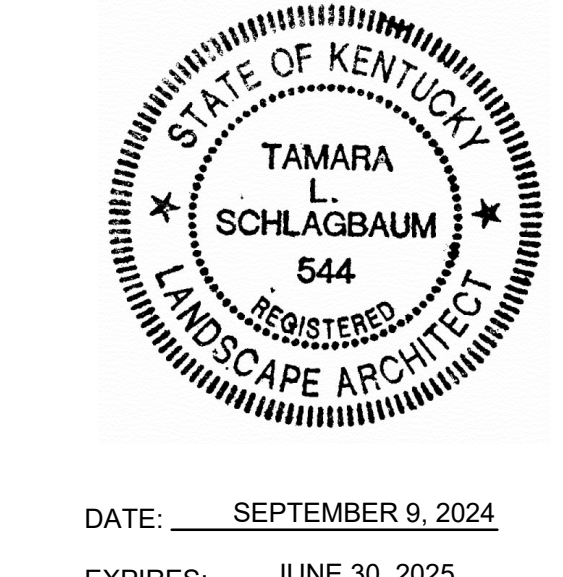


PLANTING SCHEDULE & TREE PROTECTION SUMMARY

Table with columns: CODE, BOTANICAL NAME, COMMON NAME, SIZE, COND., MATURE HEIGHT, MATURE SPREAD, TIME/COLOR, FALL COLOR, QTY, UNIT, QUALITY, CREDIT UNITS, REPLACEMENT UNITS, DENSITY FACTOR. Includes sections for TREES - EXISTING, TREES, SHRUBS, ANNUALS/PERENNIALS.

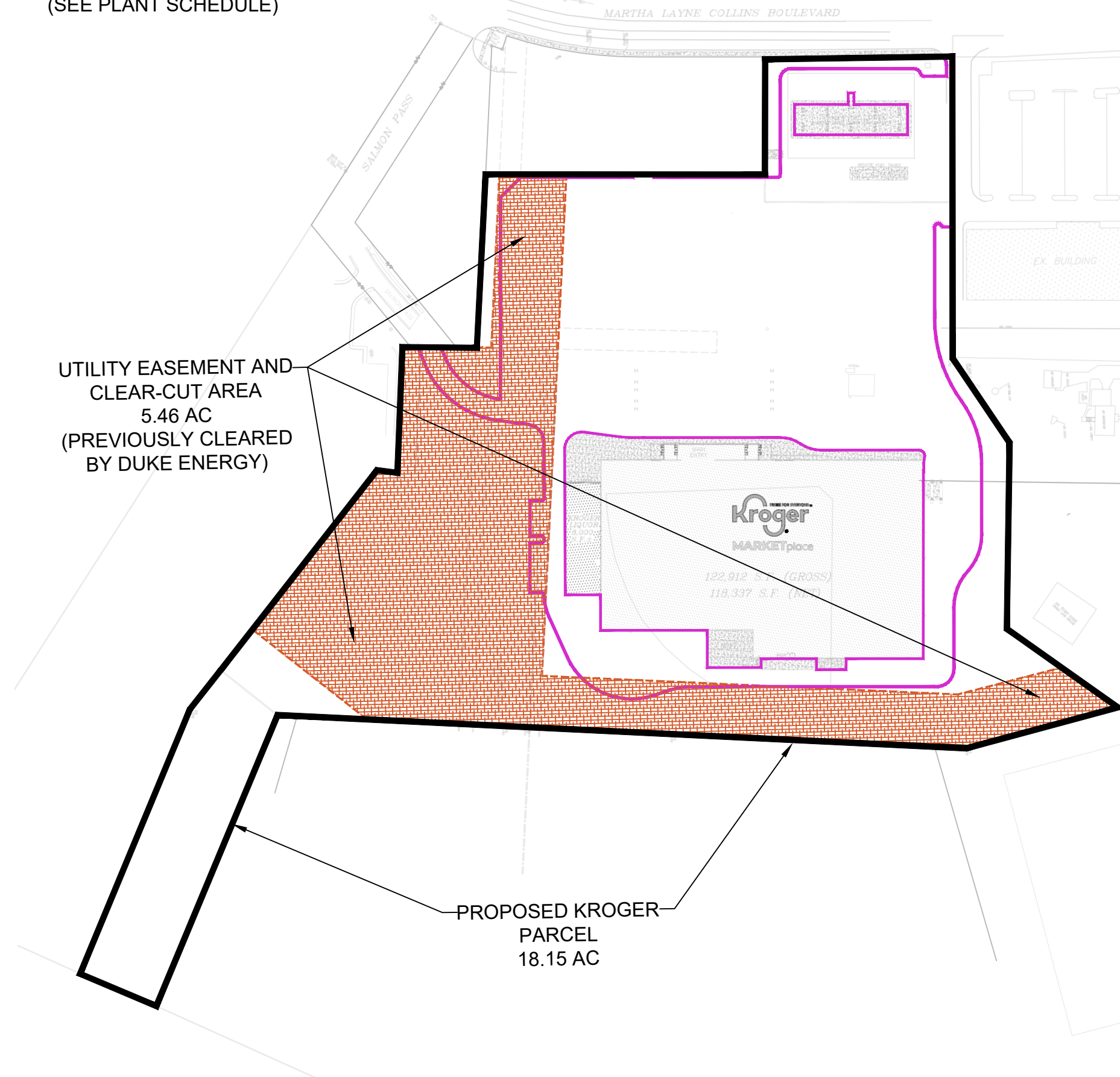
TREE DENSITY FACTOR CALCULATION :
REDEVELOPMENT ACERAGE 19.70 AC
FUTURE OUTLOT ACERAGE 1.54 AC
PROPOSED KROGER PARCEL 18.16 AC

UTILITY EASEMENT AND CLEAR-CUT AREA (PREVIOUSLY CLEARED BY DUKE ENERGY) 5.46 AC
ACREAGE FOR DENSITY CALCULATION: 12.70 AC
DENSITY FACTOR FOR THE SITE = 127
DENSITY FACTOR PROVIDED = 141.8 (SEE PLANT SCHEDULE)



DATE: SEPTEMBER 9, 2024
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Revisions table with columns: No, Date



C / LS2 DENSITY FACTOR REQUIREMENTS
SCALE: NOT TO SCALE

A / LS2 PLANT SCHEDULE
SCALE: NOT TO SCALE

MARTHA LAYNE COLLINS BLVD - FUEL CENTER

Table with columns: Plant Material, Required, Provided, Comment. Rows for Width, Trees, Street Trees, and Street Trees - Future Outlot.

Lot Frontage Landscape = 12,584 SF

Table with columns: Plant Material, Required, Provided, Comment. Rows for Area, Trees/shrubs, and Street Trees.

Street Trees - Fuel Center Frontage = 265'

Table with columns: Plant Material, Required, Provided, Comment. Rows for Street Tree and Street Trees - Future Outlot.

Street Trees - Future Outlot = 368'

Table with columns: Plant Material, Required, Provided, Comment. Rows for Street Tree and Street Trees - Future Outlot.

NORTH PROPERTY LINE

Table with columns: Plant Material, Required, Provided, Comment. Rows for Width, Trees, Shrubs, and Street Trees.

Commercial Adjacent Commercial = 471.02' No Bufferyard Required

Table with columns: Plant Material, Required, Provided, Comment. Rows for Width, Trees, Street Tree, and Shrubs.

EAST PROPERTY LINE

Table with columns: Plant Material, Required, Provided, Comment. Rows for Width, Trees, Shrubs, and Street Trees. Includes Commercial Adjacent Residential and Commercial Adjacent Commercial specifications.

SOUTH PROPERTY LINE (Cold Springs Town Homes)

Table with columns: Plant Material, Required, Provided, Comment. Rows for Width, Trees, Shrubs, and Street Trees. Includes Commercial Adjacent Residential and Commercial Adjacent Commercial specifications.

SALMON PASS

Table with columns: Plant Material, Required, Provided, Comment. Rows for Width, Trees, Shrubs, and Street Trees.

Street Trees - Salmon Pass = 83' (51' + 32')

Table with columns: Plant Material, Required, Provided, Comment. Rows for Street Tree and Shrubs.

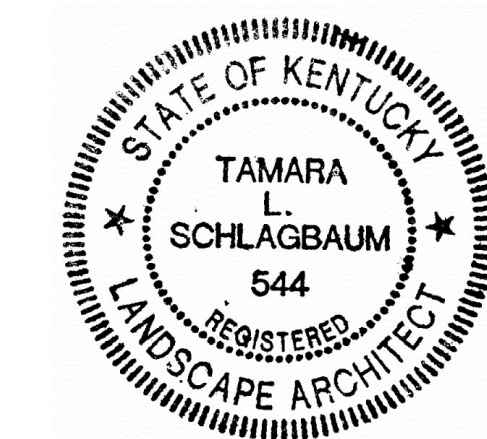
INTERIOR LANDSCAPE FOR PARKING AREAS (VUA):

Table with columns: Plant Material, Required, Provided, Comment. Rows for Interior Landscape Area and Tree.

Sign Landscaping

Table with columns: Plant Material, Required, Provided, Comment. Rows for Sign Landscaping Area.

B / LS2 LANDSCAPE REQUIREMENTS SUMMARY
SCALE: NOT TO SCALE



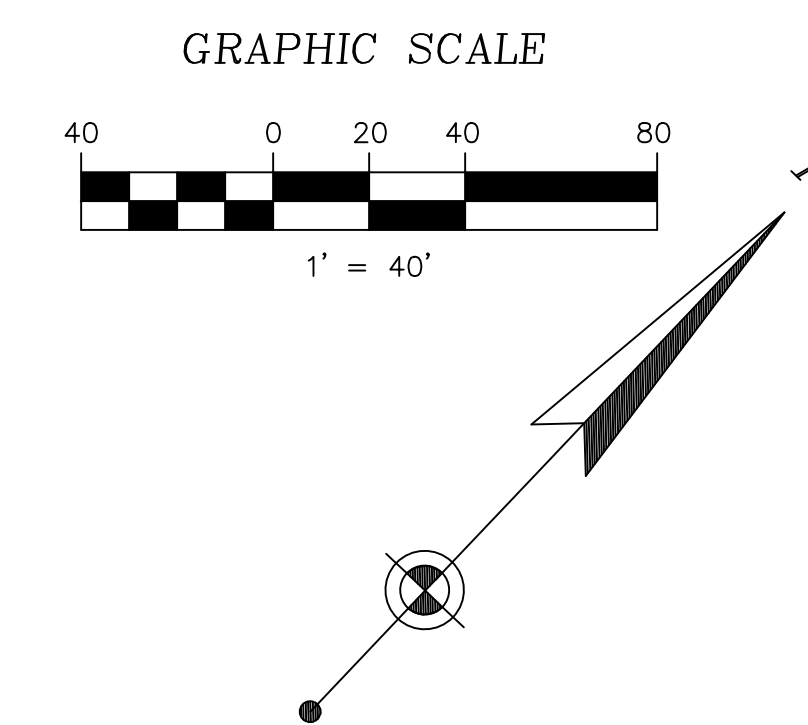
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Revisions

No. Date



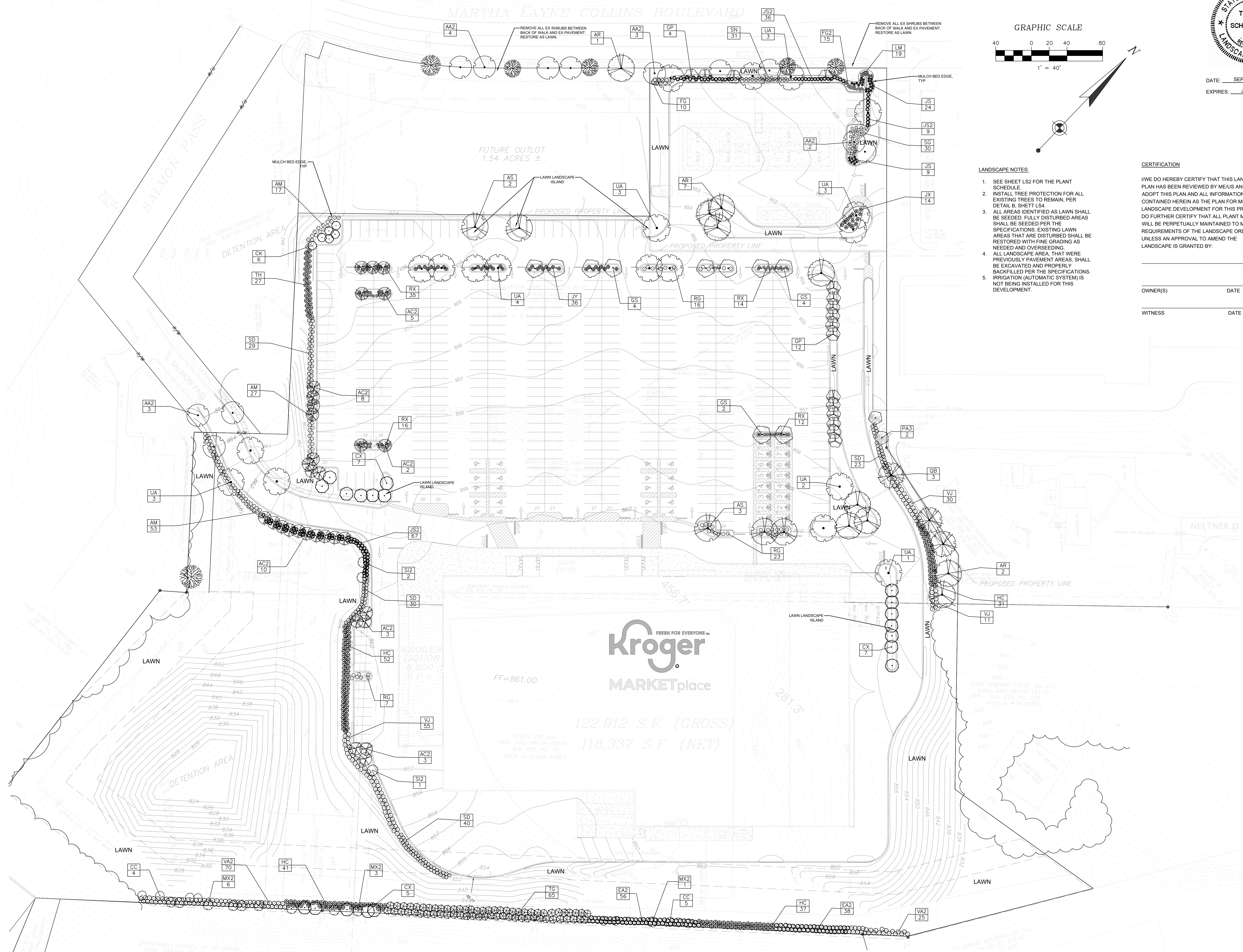
LANDSCAPE NOTES:

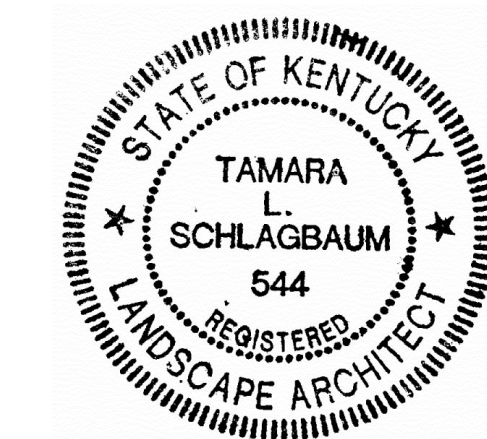
1. SEE SHEET LS2 FOR THE PLANT SCHEDULE.
2. INSTALL TREE PROTECTION FOR ALL EXISTING TREES TO REMAIN, PER DETAIL B, SHEET LS4.
3. ALL AREAS IDENTIFIED AS LAWN SHALL BE SEEDED. FULLY DISTURBED AREAS SHALL BE SEEDED PER THE SPECIFICATIONS. EXISTING LAWN AREAS THAT ARE DISTURBED SHALL BE RESTORED WITH FINE GRADING AS NEEDED AND OVERSEEDING.
4. ALL LANDSCAPE AREA, THAT WERE PREVIOUSLY PAVEMENT AREAS, SHALL BE EXCAVATED AND PROPERLY BACKFILLED PER THE SPECIFICATIONS. IRRIGATION (AUTOMATIC SYSTEM) IS NOT BEING INSTALLED FOR THIS DEVELOPMENT.

CERTIFICATION

I/WE DO HEREBY CERTIFY THAT THIS LANDSCAPE PLAN HAS BEEN REVIEWED BY ME/US AND DO ADOPT THIS PLAN AND ALL INFORMATION CONTAINED HEREIN AS THE PLAN FOR MINIMUM LANDSCAPE DEVELOPMENT FOR THIS PROJECT. I DO FURTHER CERTIFY THAT ALL PLANT MATERIAL WILL BE PERPETUALLY MAINTAINED TO MEET THE REQUIREMENTS OF THE LANDSCAPE ORDINANCE UNLESS AN APPROVAL TO AMEND THE LANDSCAPE IS GRANTED BY:

OWNER(S) _____ DATE _____
WITNESS _____ DATE _____



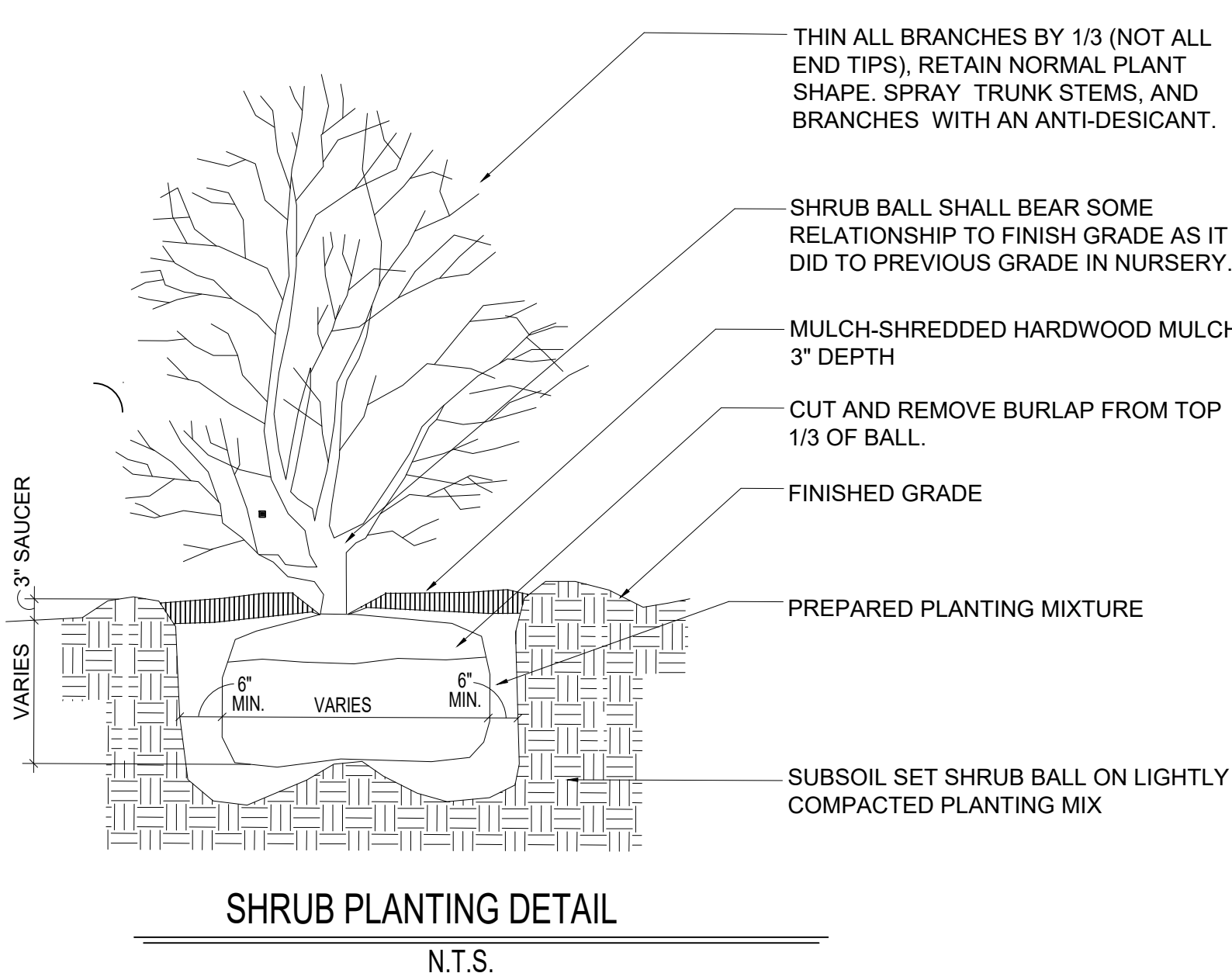
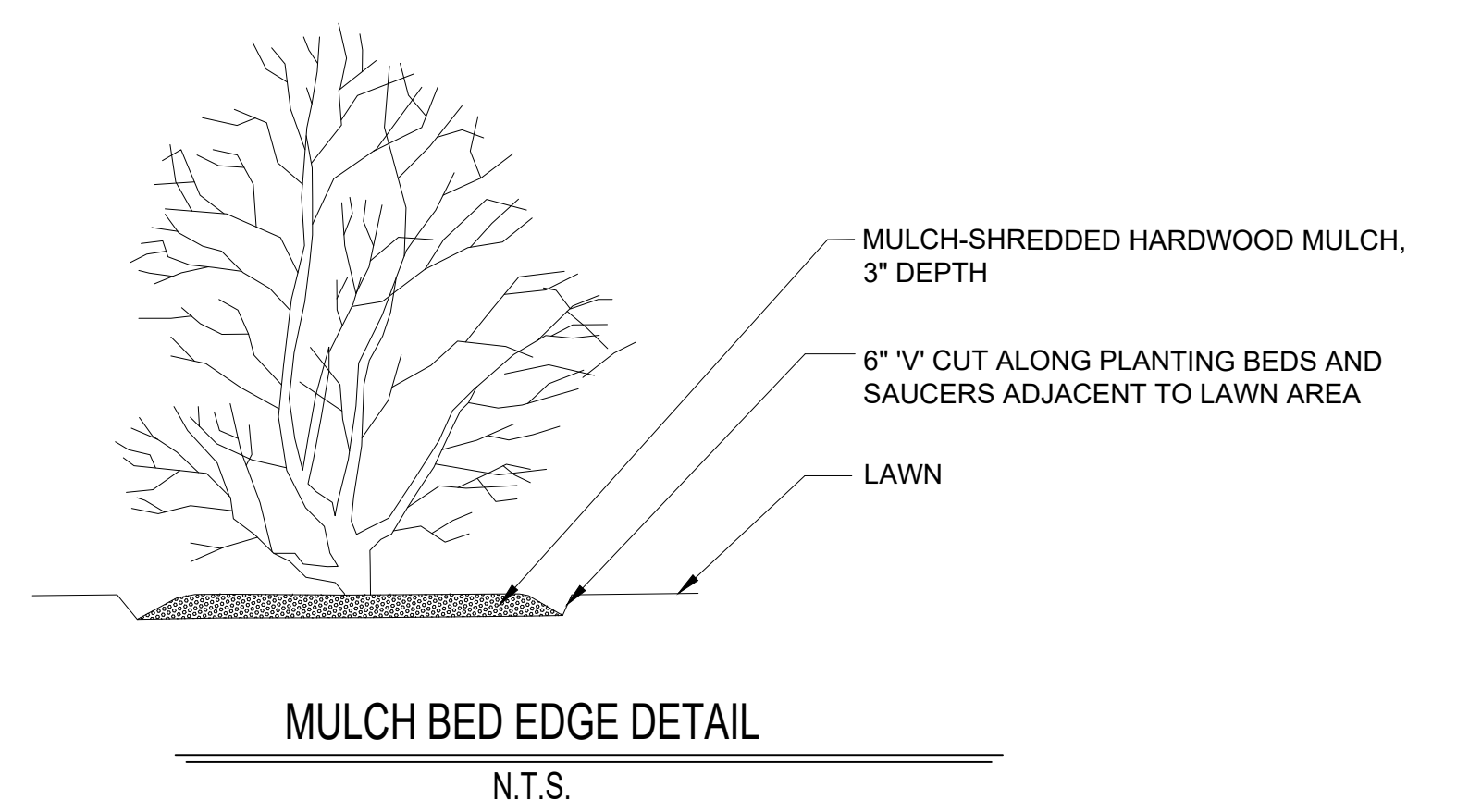


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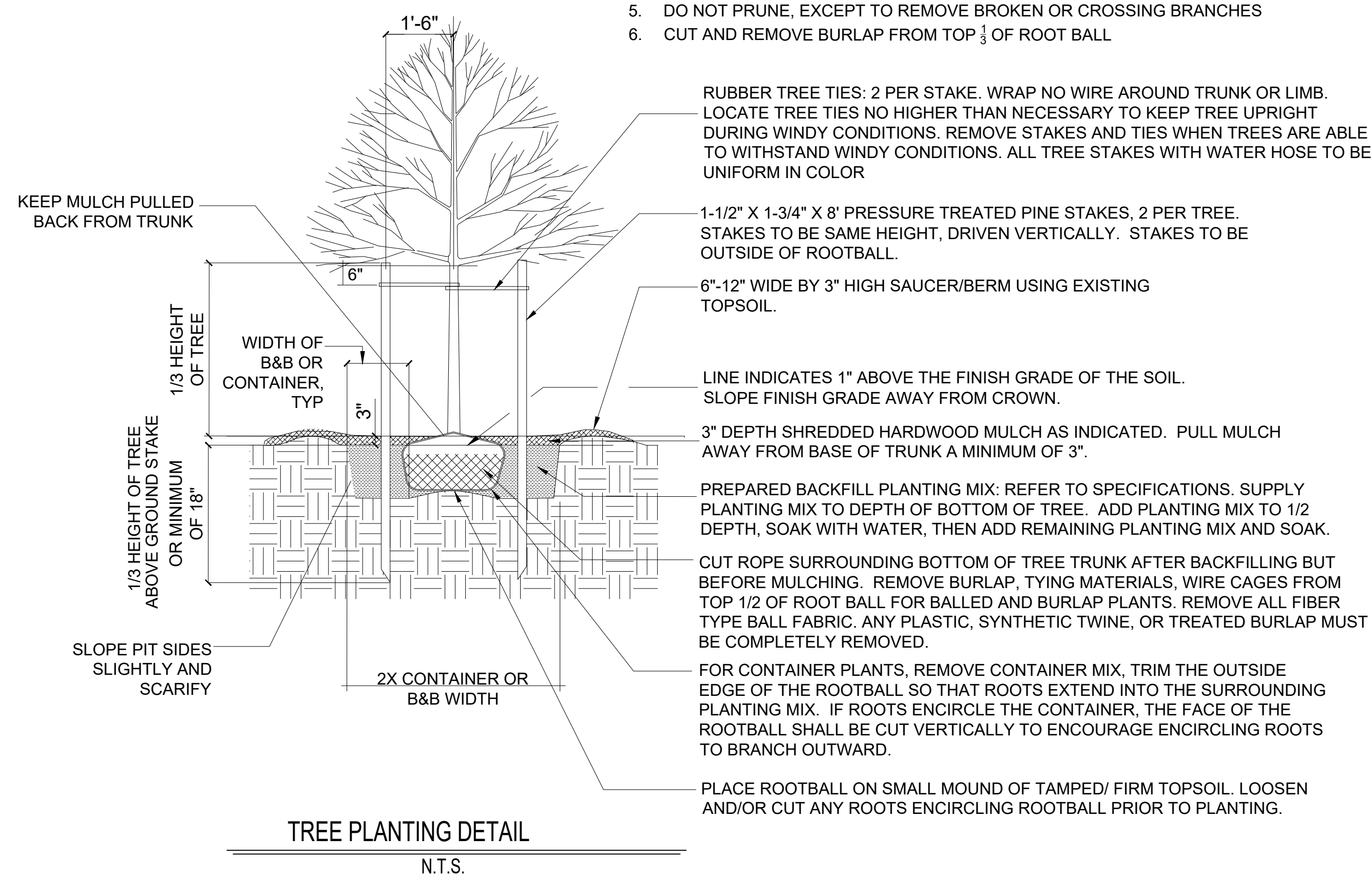
Date: SEPTEMBER 9, 2024
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Revisions	
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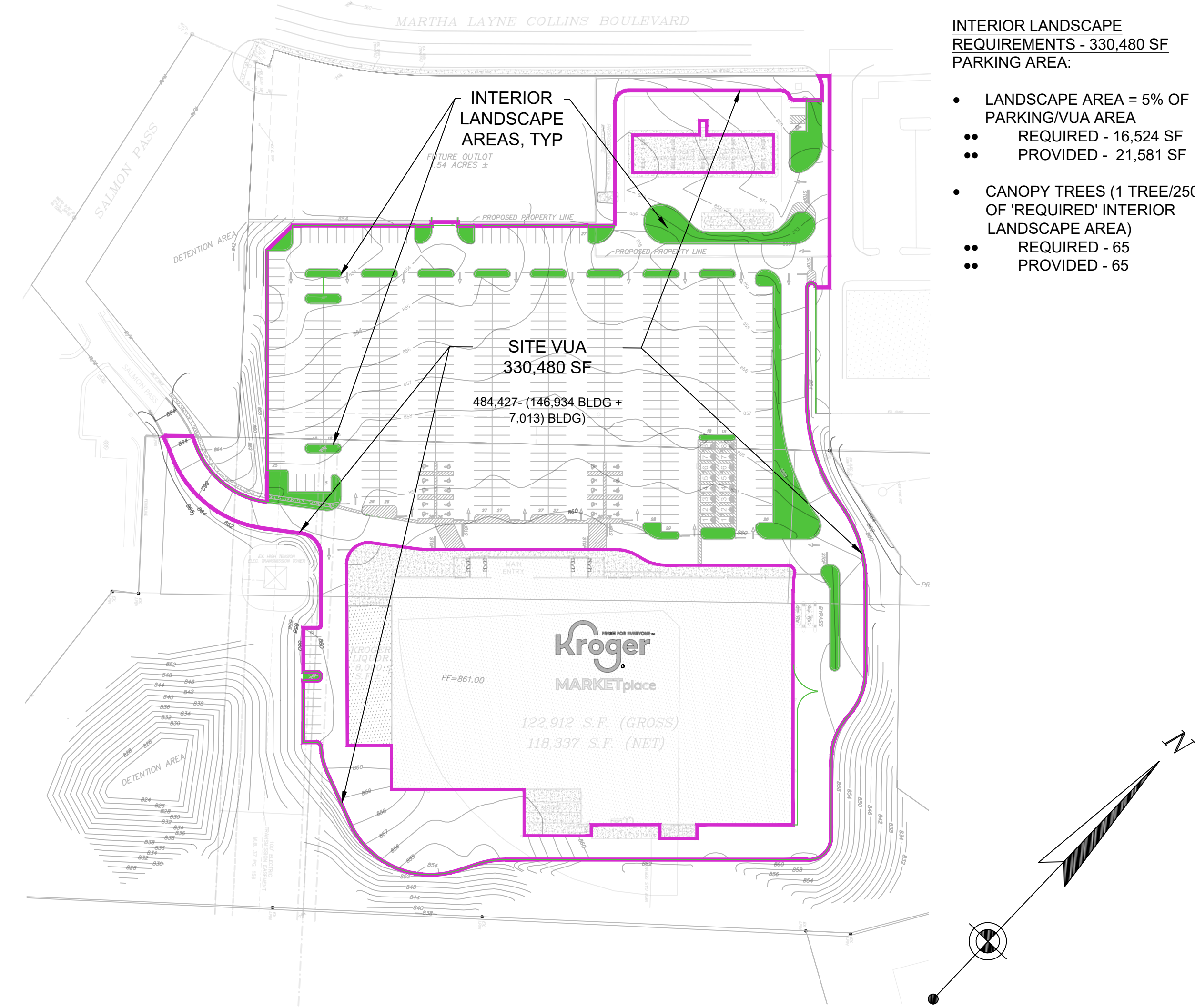


NOTES:

1. TREE MUST BE PLUMB AND STRAIGHT; TREES 8' AND TALLER SHALL BE STAKED AS SHOWN.
2. PLANTING PIT: SLOPE SIDES SLIGHTLY, AND SCARIFY TO PROVIDE EASIER ROOT PENETRATION. PITS SHALL HAVE POSITIVE DRAINAGE. PITS WHEN FULLY FLOODED MUST DRAIN WITHIN 2 HOURS OF FILLING. THE CONTRACTOR IS TO ENSURE THAT ALL PLANTING PITS HAVE POSITIVE DRAINAGE.
3. REMOVE ANY SHOOTS UP TO 6" ABOVE SOIL.
4. REMOVE EXISTING NURSERY STAKES BEFORE PLANTING.
5. DO NOT PRUNE, EXCEPT TO REMOVE BROKEN OR CROSSING BRANCHES.
6. CUT AND REMOVE BURLAP FROM TOP 1/4 OF ROOT BALL.

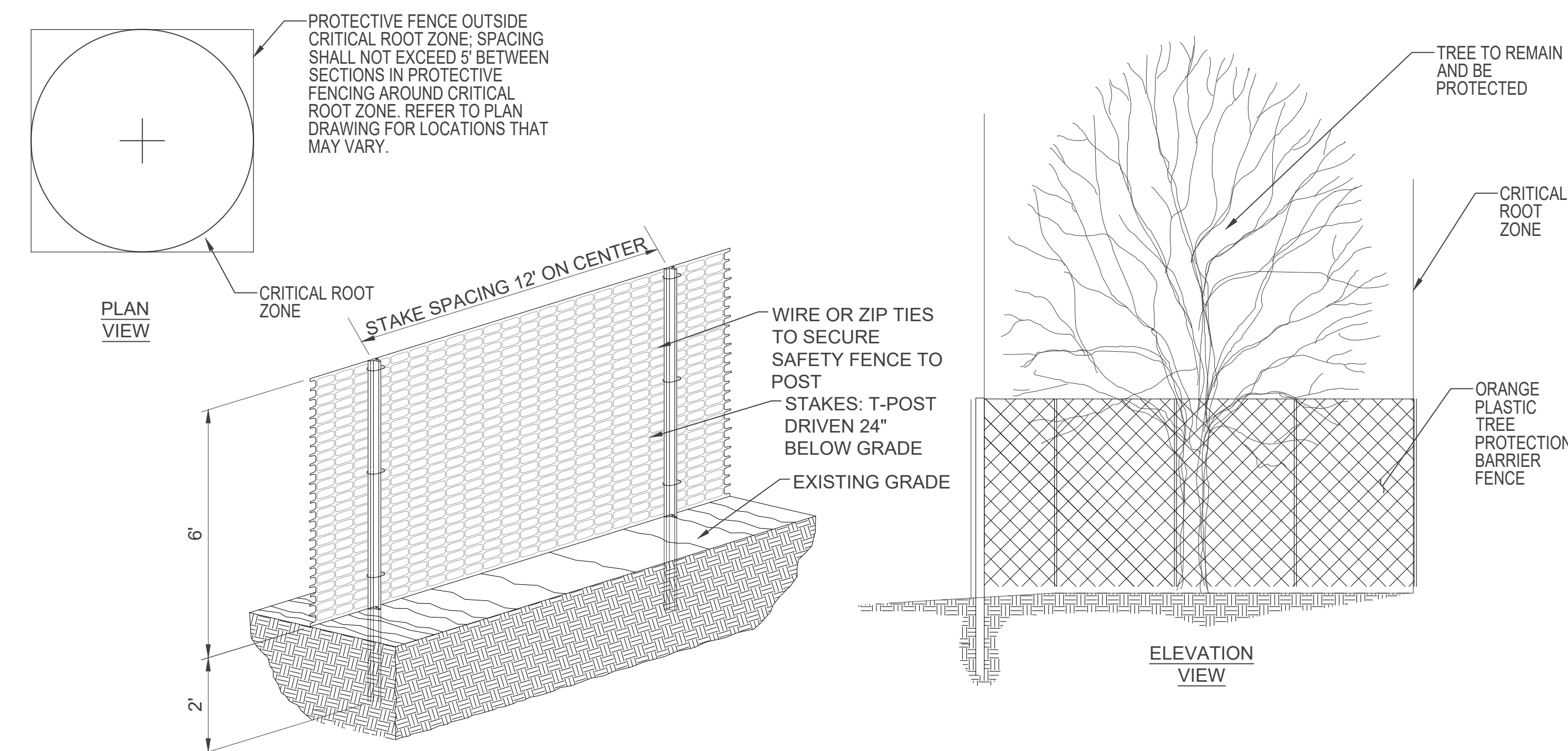


C LS4 INTERIOR LANDSCAPE AREA
SCALE: NOT TO SCALE



INTERIOR LANDSCAPE REQUIREMENTS - 330,480 SF PARKING AREA:

- LANDSCAPE AREA = 5% OF PARKING/VUA AREA
 - REQUIRED - 16,524 SF
 - PROVIDED - 21,581 SF
- CANOPY TREES (1 TREE/250 SF OF 'REQUIRED' INTERIOR LANDSCAPE AREA)
 - REQUIRED - 65
 - PROVIDED - 65



A LS4 PLANTING DETAILS
SCALE: NOT TO SCALE

B LS4 TREE PROTECTION
SCALE: NOT TO SCALE

LANDSCAPE DETAILS & INTERIOR LANDSCAPE

KROGER
CITY OF COLD SPRING
CAMPBELL COUNTY, KENTUCKY

Drawn By: T. SCHLAG

Sheet **LS4**

Job No: F7X99001 WBS 24

Kroger Marketplace
70 Martha Layne Collins Boulevard
Project Description and Justification

Project Description

Kroger has purchased or has a purchase option to buy 19.7 acres of property which includes parcels 99-99-20-372.00, 999-99-19-495.0 one, 999-99-18-193.0 one and a portion of 999-99-19-495.00 in the City of Cold Spring. The parcels are currently zoned a mixture of "NCS" and "R-3" and have been developed with the existing Kroger store and ballfields formerly utilized by the Elks. Portions of the property are currently approved for the development of 250 self-storage units and 174 apartments. Kroger is making a request to allow for the development of the site with a 122,912 square foot Kroger Marketplace store, an 8,000 square foot wine and spirit store, a fuel center and an outlot for future development. The new development would feature 527 parking spaces, a pharmacy drive-through window, and 16 online shopping pick up spaces. Access to the development would be from Martha Layne Collins Boulevard and from Salmon Pass to the west. To allow for the development to move forward, a zone map amendment is being requested from "NCS" and "R-3" to "MU-PUD" along with Stage One and Stage Two Development Plan approval. Conditional use approval is also requested to permit the proposed fuel center.

The existing 60,662 square foot Kroger store was constructed in 1988 and does not offer the variety of goods and services that Kroger customers have come to expect. A fuel center is not part of the existing development nor is there a pharmacy drive-through window. Currently, prescriptions can be obtained by a kiosk in the parking lot or a walk-up window. The online shopping has customers leaving their vehicles and obtaining orders from lockers adjacent to the store. The availability of merchandise is limited due to the limited size of the store.

The new store will offer services such as a two-lane drive through pharmacy window, and 16 online shopping pick up spaces which allow Kroger associates to bring the orders to the customers' vehicle. Additionally, nine pump dispensers will be available at the Kroger fuel center allowing Kroger customers to utilize fuel points with their shopping trip. With the expanded Marketplace format, the proposed Kroger becomes a multiservice use offering a mixture of uses within the store including:



Florist Shop



Fresh Made Sushi & Popcorn



Starbucks Coffee



To-Go Prepared Food



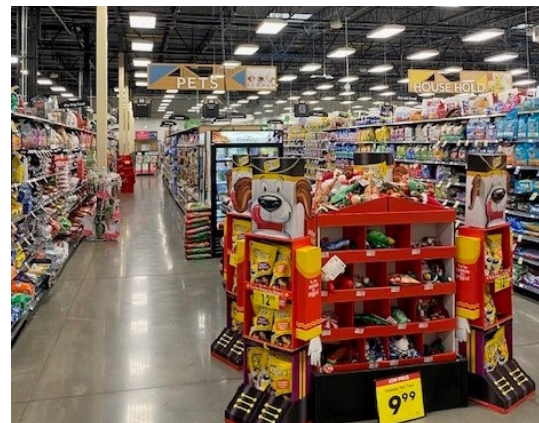
Murray's Cheese Store



Bakery



Expanded Meat and Seafood



Pet Department



Household Goods



Seasonal Items



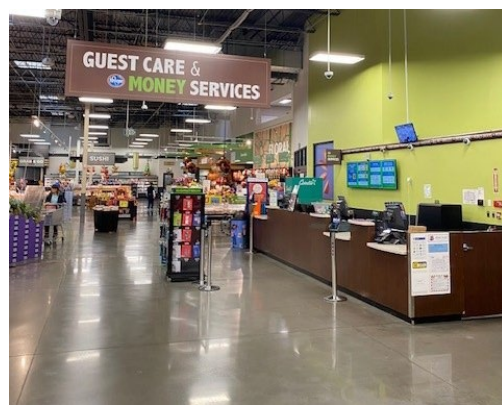
Beauty Care



Pharmacy with Drive-Thru



Clothing



Money Services

With two pharmacy drive-through lanes and 16 online pick up spaces, Kroger customers will be able to retrieve orders without ever leaving their vehicles. The inclusion of a Kroger fuel center at the north end of the city will be a convenience not just for Cold Spring residence, but those residing in Highland Heights and attending Northern Kentucky University. Recognizing that NKU students are an important part of the store's customer base, Kroger is proposing to continue a 5-foot-wide sidewalk on Salmon Pass into the development for students walking to the store. For those riding bikes, a total of 10 bicycle spaces will be located along the front of the building.

The proposed landscape plan exceeds the landscaping requirements of the city and care has been taken to create a buffer along the south property line that significantly

exceeds code requirements. A rear yard (south) 109-foot setback is provided from the store to the south property line which significantly exceeds code requirements. Additionally, it should be noted that there is an average grade change of 33.5 feet from the proposed development down to the ground-level adjacent townhomes. Although Kroger has met the landscape buffer and setback requirements of the city, they are proposing additional elements along portions of the rear property line to provide more buffering than required for adjacent property owners. Specifically, a six-foot-tall solid fence will be constructed along 325 feet of the southwest portion of rear property adjacent to the pavement edge, which is a minimum of 50 feet from the rear property line. Additionally, a six-foot earthen mound has been added along 220 feet to the rear of the eastern portion of the store to provide further screening. A tree inventory has been completed with all of the required replanting being indicated on the landscape plan.

Signage

Given the size of the Kroger development, and the multiple uses that will occur on the 19.7 acres, consideration is requested to provide for adequate signage for the development as follows:

Kroger Marketplace: The Kroger Marketplace store will include a multitude of services and goods. The following signage is needed to provide identification and direction to these options:

"Kroger Marketplace"	265.9 SF
"Starbucks"	25 SF
"Pharmacy Drive Thru"	63.1 SF
"Pick Up"	<u>45SF</u>

Total: 399 SF

Based on the 455 linear feet of store frontage, the Kroger store is permitted 455 square feet of sign area. The proposed 399 square feet of sign area is below the amount permitted by code. The zoning code, however, only allows one sign on the front elevation of the store. To adequately identify Starbucks, which is a tenant in the store, and provide customer direction to the locations of the pharmacy pickup window and the online shopping pickup spaces, as well as identifying the Kroger Marketplace store, a total of 4 signs are needed.

Wine & Spirits store: The 8,000 square foot Wine & Spirits store will be located to the west of the Kroger store. The Wine & Spirits store has 55 feet of linear frontage and per code is permitted 55 square feet of sign area. To allow proper identification to the required separate entrance to the Wine & Spirits store, Kroger is requesting

consideration to allow the wall sign to be 88.6 square feet. The proposed sign will occupy only 7% of the front elevation which is located 600 feet south of Martha Layne Collins Boulevard.

Fuel Center Ground Mounted sign: Kroger is proposing only one new freestanding sign for the 19.7-acre development. This sign will be located on the west side of the entrance from Martha Layne Collins Boulevard to the east of the fuel center. To allow for a brick base on the sign, it is proposed to be 8 feet in height where the maximum permitted height is 7 feet. The sign would only include "Kroger" and LED fuel prices for unleaded and diesel fuel. To allow the fuel prices to be readable to the public on Martha Layne Collins Boulevard, the size is proposed to contain 77 square feet where 25 square feet is permitted. One 25 square foot monument sign for a 130,912 square foot development with a fuel center on 19.7 acres is not realistic and a variance is requested.

Fuel Canopy and Kiosk: To provide fuel identification and pricing information to customers, Kroger is requesting to include LED fuel prices (30.3 square feet), and "Kroger" (24.6 square feet) on both the north and south canopy elevations. Per code, 165 square feet of sign area would be permitted on the north canopy elevation only without the LED fuel prices. A total of 109.8 square feet is proposed for both the north and south canopy elevations with a "cart logo" (7.8 square feet) on the west and east sides of the canopy. The total proposed signage for the fuel canopy is 125.4 square feet for all four sides. Additionally, the kiosk under the canopy would have a 7.8 square foot "cart logo" on both the north and south elevations, where 10 square feet is permitted on the north kiosk elevation. These small signs are a continuing part of the overall Kroger branding.

Kroger is excited to bring this 35-million dollar investment to the City of Cold Spring and anticipates 100 full and part-time associates will be added. With the Kroger development the proposed Marketplace store will bring new services and grocery options to the northern portion of Cold Spring and Highland Heights and to the students and faculty of NKU. Favorable consideration is requested for approving the application for the Zone Map Amendment, Stage 1 and Stage 2 Development Plans, and Conditional Use as requested.