COLD SPRING PLANNING & ZONING AGENDA September 13, 2023 6:30 PM

1. PLEDGE TO THE FLAG, ROLL CALL, AND EXIT INSTRUCTIONS

MICHAEL FOULKS SAMUEL CONNER STEVE POPOVICH GREG HIZER MARG TRUNICK MIKE FORGE

2. APPROVAL OF MINUTES

• August 9, 2023 P&Z Meeting

3. SUBDIVISION ITEMS

4. PUBLIC FACILITIES

5. PUBLIC HEARING ON SCHEDULED ITEMS

- PZ-23-033 (1) Zone Map Amendment from Residential-Rural Estate (R-RE), Residential-Rural Estate* (R-RE*), Residential-One C (R-1C) and Residential-Three (R-3) to Mixed-Use Planned Development (MUPD) and Highway Commercial-Two (HC-2); and (2) Approval of Stage I and Stage II plans for the development of a Mixed-Use Commercial Development.
- BA-23-018 Multiple Parcels Comprising Approximately Fifty-Three (53) Acres at the South-East corner of Alexandria Pike (US-27) and AA Highway (KY-9) in Cold Spring, KY. Approval of Variances for the following:
 - 1. Parking Stall Size Requirements
 - 2. Minimum Yard Depth for Building
 - 3. Minimum Yard Depth for Gas Station Canopy
 - 4. Sidewalk Requirements
 - The applicant for both requests is Midland Atlantic Properties

6. UNFINISHED BUSINESS

7. CORRESPONDENCE

- 8. PLANNING AND STAFF ITEMS
- 9. COMMISSION ITEMS

10. COMMENTS / REQUESTS TO THE COMMISSION

11. ADJOURN

Planning & Zoning Minutes

August 9, 2023

The meeting of the Cold Spring Planning & Zoning Commission was called to order by Chairman Foulks at 6:30pm. The pledge was led by chairman Mike Foulks.

Roll Call: (00:34)

- Present: Mike Forge, Mike Foulks, Greg Hizer, Steve Popovich, Marg Trunick, and City Clerk Robin Morency
- Excused: Sam Conner and Brandon Voelker

Minute Approval: (00:51)

• July 12, 2023 meeting minutes were reviewed by all. Mike Forge made a motion to approve. Greg Hizer seconded the motion. All were in favor. **Motion passed.**

Subdivision Items: None. Public Facilities: None. Public Hearing: Unfinished Business: None Correspondence: None. Planning & Staff Items: None.

Commission Items: (03:30)

• Approval of 3 hours continuing education hours for Marg Trunick and Greg Hizer. Steve Popovich made a motion to approve. Mike Forge seconded the motion. All were in favor. **Motion passed.**

Comments/Requests to the Commission:

Adjournment: (04:09)

• Mike Forge made a motion. Steve Popovich seconded the motion to adjourn the meeting at 6:34pm. All in favor. **Motion passed.**

Approved:

Chairman:

City Clerk:

To view the meeting agenda, visit: <u>https://coldspringky.gov/departments/planning-and-zoning/planning-and-zoning-agendas/</u>

To view the meeting video, visit: <u>https://coldspringky.gov/planning-and-zoning-meeting-videos/</u>



August 29, 2023 Mr. Mike Foulks, Chair Cold Spring Planning & Zoning Commission 5694 East Alexandria Pike Cold Spring, KY 41076

Mr. Foulks,

The Campbell County staff respectfully submits the attached recommendation for review. A public hearing is scheduled before the Cold Spring Planning and Zoning Commission on September 13, 2023 at 6:30 PM at 5694 East Alexandria Pike, Cold Spring, KY 41076.

FILE NUMBER:	PZ-23-033			
LOCATION:	Multiple Parcels Comprising Approximately Seventy (70) Acres at the			
	South-East corner of Alexandria Pike (US-27) and AA Highway (KY-9) in			
	Cold Spring, KY			
APPLICANT:	Midland Atlantic Properties			
REQUEST:	(1) Zone Map Amendment from Residential-Rural Estate (R-RE),			
	Residential-Rural Estate* (R-RE*), Residential-One C (R-1C) and			
	Residential-Three (R-3) to Mixed-Use Planned Development (MUPD) and Highway Commercial-Two (HC-2); and			
	(2) Approval of Stage I and Stage II plans for the development of a			
	Mixed-Use Commercial Development.			
FILE NUMBER:	BA-23-018			
LOCATION:	Multiple Parcels Comprising Approximately Fifty-Three (53) Acres at the South-East corner of Alexandria Pike (US-27) and AA Highway (KY-9) in			
	Cold Spring, KY			
APPLICANT:	Midland Atlantic Properties			
REQUEST:	Approval of Variances for the following:			
	1. Parking Stall Size Requirements			
	2. Minimum Yard Depth for Building			
	3. Minimum Yard Depth for Gas Station Canopy			
	4. Sidewalk Requirements			

Legal notice was published in the August 29, 2023 edition of the Link Reader. Notices were mailed to forty-five adjoining and neighboring properties. Signs advertising the Planning and Zoning case was placed at the site on August 29, 2023.

Overview:

The proposed use is multi-tenant shopping complex. The northern section of the site includes a professional office building. As of this writing, only the general type and size of tenant in concept is shown on the plans and no contracts are in place with any specific tenants.

The site is located at the intersection of Alexandria Pike (US-27) and AA Highway (KY-9). The site encompasses approximately 53 acres and is situated across several zoning districts. A

zone map amendment to create a more cohesive and appropriate zoning district for the site is part of the request. The zone map amendment includes a change to Mixed-Use Planned Development (MUPD) for the majority of the site with a section along US-27 to be Highway Commercial-Two (HC-2). The development site is bordered on the north and east by AA highway. North of AA Highway is the Crossroads Shopping Center, zoned entirely as MUPD. Properties to the south are also zoned MUPD. Across from the development site is the Meijer Shopping Center, which is zoned Neighborhood Shopping Center (NSC).





Figure 1: Vicinity

Figure 2: Site Area

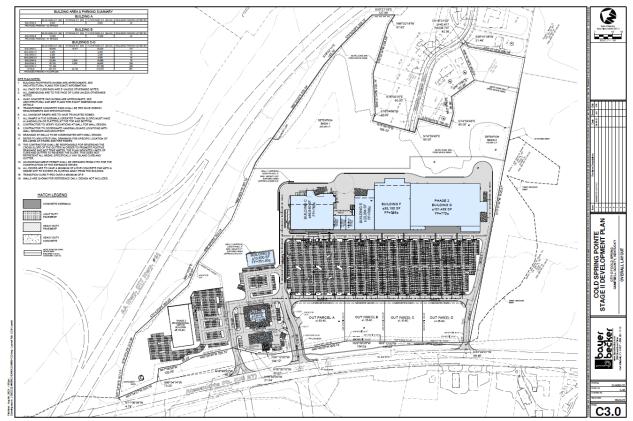


Figure 3: Site Plan ~Note orientation rotated approximately 60 degrees counter-clockwise

I. Considerations of Zone Map Amendment

The proposed development site and associated zone map amendment includes area that is currently in the unincorporated county area. The City is in the process of annexing that unincorporated section.

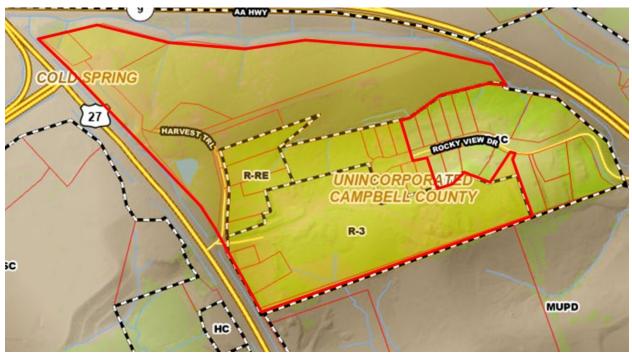


Figure 4: Site area showing proposed site and current, pre-annexation municipal boundaries

The 2018 Comprehensive Plan Future Land Use Map shows the site as "Regional Commercial".

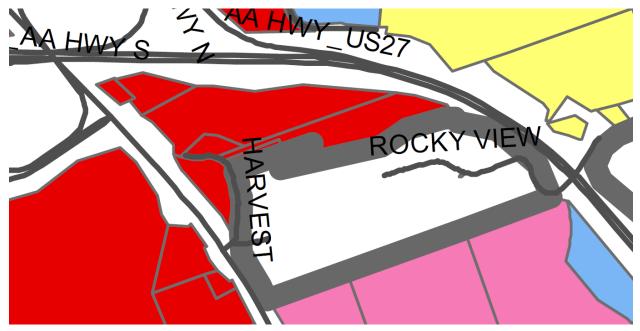


Figure 5: Site area showing the proposed future land use "Regional Commercial" shaded in red

From the Ordinance:

SECTION 8.5 AREAS NOT INCLUDED WITHIN ZONES: Property which has not been included within a zone, either through error or omission, or when an area is annexed or proposed to be annexed by the city, the zoning to be applied to the area shall follow the procedures identified in KRS 100.209 and KRS 81A.420 (1), as amended.

This zone map amendment request includes the unincorporated site development area that is on track for annexation.

The Future Land Use Map of Campbell County identifies that area as "Urban Mixed-Use".

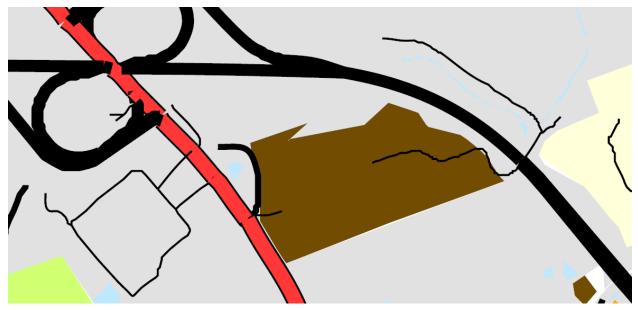


Figure 6: Excerpt from the Unincorporated Campbell County Future Land Use plan indicated the area proposed to be "Urban Mixed-Use" shaded in Brown

From the 2018 Comprehensive Plan:

Regional Commercial

The commercial activities around the AA Highway have been of a type that caters to both the residents of Cold Spring as well as the larger region. This commercial area will continue to serve as a general shopping location for the community and include, but are not limited to, grocery stores, wholesale clubs, large-scale general retail, department stores, specialty retail, restaurants, banks and gas stations. The heavy retail and office focus of these areas makes them primarily auto oriented; however, opportunities to tie in pedestrian access between buildings and surrounding residential development is strongly encouraged through the use of sidewalks and off-street trails.

- Regional Commercial Design Principles
 - 1. Larger-scale, auto-oriented commercial retail, office, and service uses are appropriate within this area
 - 2. Drive-through facilities may be appropriate if located to the side or rear of properties and screened from adjacent uses.

3. Pedestrian connections to surrounding neighborhoods are important but otherwise, uses should be screened from adjacent neighborhoods with vegetation and decorative fences.

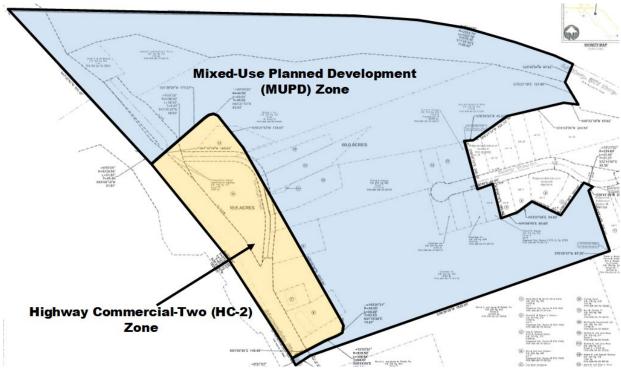


Figure	7: Propo	sed zone	тар	amendments
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Dimensional Req	uirements for	Permitted Uses.
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		Minimum Lot Area	Minimum Lot Width	Front Yard Setback	Side Yard Setback	Rear Setback	Maximum Building Height	Misc.
	R-RE	3 Acres (130,680 ft ²)	300 Feet at Setback Line	75 Feet	75 Feet	25 Feet	35 Feet	N/A
J Zones	R-1C	12,500 Square Feet	80 Feet at Setback Line	30 Feet	10 Feet	25 Feet	35 Feet	N/A
Existing	R-3	20,000 Square Feet	100 Feet at Setback Line	40 Feet	15 Feet	30 Feet	40 Feet	Maximum Density - 14 dwelling units per net acre More than one principal structure may be permitted on one lot
Proposed Zones	MUPD	 No MUPD Zone shall be permitted on less than ten (10) acres of land. However, an area of less than ten (10) acres may be zoned MUPD provided it is adjacent to an area with an existing approved Stage I Development Plan and is currently zoned MUPD. The minimum area for submission of a Stage II Development Plan shall not be less than one (1) acre. 				oved on the Stage I		
4	HC	1 Acre	100 Feet	50 Feet	15 Feet*	25 Feet	40 Feet	N/A

*No restrictions, except when adjacent to a dedicated street, road, highway, or other right-of-way, then the required width shall be the same as required for a minimum front yard depth in this zone. When buildings abut each other, firewall construction, as required by the building code, shall be required. In the event a side yard is provided, it shall never be less than fifteen (15) feet.

Permitted uses in <u>current</u> zones:

R-RE	R-1C	R-3
Single-family residential dwellings	Single-family residential dwellings	Multi-family residential dwellings
(detached)	(detached)	
Qualified manufactured homes,	Qualified manufactured homes,	
subject to the compatibility	subject to the compatibility	
standards established in Section	standards established in Section	
9.29 of this ordinance	9.29 of this ordinance	

Permitted uses in proposed zones:

Mixed-Use Planned Development (MUPD):

- 1. Residential Uses: Only attached single-family and multi-family residential uses are permitted in the MUPD Zone, and shall be grouped in areas as delineated on the Stage I Development Plan.
- 2. Office and Related Uses: Professional Office, Research Training and other related uses shall be contained in designated areas as delineated on the Stage I Development Plan and may include the following uses:
 - a. Care centers for children and/or adults
 - b. Corporate headquarters, regional and administrative offices
 - c. Professional, medical, and dental offices
 - d. Regional and metropolitan offices
 - e. Sales and marketing offices
 - f. Data and communication centers, including information processing facilities
 - g. Sales and service offices related to electronic equipment, computers, and similar office equipment
 - h. Research and development facilities
 - i. Hotels and meeting facilities
 - j. Training, educational and conference facilities
 - k. Printing and publishing facilities
 - I. Athletic and recreational facilities
 - m. Financial institutions and services
 - n. Retail and retail services in conjunction with and located within an office building, hotel, conference center, or athletic facility
 - o. Colleges, technical, and business schools
 - p. Libraries and museums
- 3. Commercial Uses: Areas designated for commercial and service uses may be included on the Stage I Development Plan to include the following uses:
 - a. Antique stores
 - b. Apparel stores
 - c. Art supplies
 - d. Art gallery and framing services
 - e. Bakery and bakery goods store, provided the products are sold exclusively on the premises
 - f. Barber and beauty shops
 - g. Bicycle shop
 - h. Book, stationery, or gift store
 - i. Butcher shops
 - j. Camera and photographic supplies
 - k. Candy store, soda fountain, ice cream or yogurt store, excluding those with drive-in or drivethrough facilities
 - I. Card and gift shop
 - m. Carpet and flooring store

- n. Collectables store
- o. Communications and postal service center
- p. Computer store
- q. Dance studio
- r. Delicatessen and coffee shops
- s. Drug store
- t. Dry cleaning store
- u. Eating and drinking places, excluding those with drive-in or drive- through facilities
- v. Fabric store
- w. Florist shop
- x. Travel agency
- y. Glass or pottery shop
- z. Grocery or food stores
- aa. Health and fitness facility
- bb. Hobby and craft store
- cc. Home furniture store
- dd. Home improvement and garden stores, including sales and service
- ee. Interior decorator services
- ff. Jewelry store
- gg. Leather goods and luggage store
- hh. Locksmith shop
- ii. Music store, including sale of instruments and recorded material
- jj. Office supply store
- kk. Opticians and optical goods
- II. Paint and wallpaper store
- mm. Party supply and paper goods store
- nn. Pet store and grooming, excluding boarding of animals
- oo. Photocopy establishment
- pp. Radio, television and similar or related electronics and appliance sales and service
- qq. Shoe store and shoe repair
- rr. Sporting goods store
- ss. Tailor shop
- tt. Tanning salon
- uu. Toy store
- vv. Video tape and audio products sales and rental
- ww. Wine liquor store

Highway Commercial-Two (HC-2):

- 1. Automobile, motorcycle, and truck sales, new or used
- 2. Automotive service and repairs, providing that all business activities shall be conducted within a completely enclosed building
- 3. Banks and other financial institutions, including savings, loan, and finance companies, with drive-in windows
- 4. Boat and other marine equipment sales and service, new and used
- 5. Bowling alleys
- 6. Car wash
- 7. Eating and drinking places, including drive-ins
- 8. Flea market
- 9. Floor covering warehouse and retail sales
- 10. Food stores/retail sales
- 11. Hotels and motels
- 12. Kennels
- 13. Mobile home and trailer sales, rental and service (new and used)

- 14. Off-street parking lots and garages
- 15. Police and fire stations
- 16. Service station
- 17. Skating rinks, golf driving ranges, miniature and par-3 golf courses
- 18. Single and two family residential uses, provided that such uses occupy the second or third floor or attached to the rear of a commercial use. In the case of this use, more than one principal use may be constructed on one lot.
- 19. Theater, drive-in
- 20. Veterinary clinics and animal hospitals
- 21. Sale of Consumer Fireworks, as defined by KRS 227.702 on March 16, 2011
- 22. Warehousing of Recyclable Materials. This does not include any manufacturing, compounding, processing, packaging, assembling, or disassembling.

Conditional uses in current zones:

R-RE	R-1C	R-3
Cemeteries	Cemeteries	Cemeteries
Child care centers	Child care centers	Child care centers
Churches and other buildings for the purpose of religious worship, providing they are located adjacent to an arterial street	Churches and other buildings for the purpose of religious worship, providing they are located adjacent to an arterial street	Churches and other buildings for the purpose of religious worship, providing they are located adjacent to an arterial street
Fire and police stations, providing they are located adjacent to an arterial street	Fire and police stations, providing they are located adjacent to an arterial street	Fire and police stations, providing they are located adjacent to an arterial street Funeral homes, providing they are located adjacent to an arterial street
Governmental buildings	Governmental buildings	Governmental offices
Institutions for higher education, providing they are located adjacent to an arterial street	Institutions for higher education, providing they are located adjacent to an arterial street	Institutions for higher education, providing they are located adjacent to an arterial street
Institutions for human medical	Institutions for human medical	Institutions for human medical
care - clinics, congregate housing, and hospitals, providing they are located adjacent to an arterial	care - clinics, congregate housing, and hospitals, providing they are located adjacent to an arterial	care - clinics, congregate housing, and hospitals, providing they are located adjacent to an arterial
street	street	street
Libraries	Libraries	Libraries
Nursery school Parks and/or recreation areas which are owned and/or operated publicly or by a non-profit organization	Nursery school Parks and/or recreation areas which are owned and/or operated publicly or by a non-profit organization	Nursery schools Parks and/or recreation areas which are owned and/or operated publicly or by a non-profit organization
Parochial, private, and public schools, providing they are located adjacent to an arterial street Professional offices within a structure:	Parochial, private, and public schools, providing they are located adjacent to an arterial street	Parochial, private, and public schools, providing they are located adjacent to an arterial street
(a) which is at least one hundred fifty (150) years old; and (b) is recognized as a Kentucky Landmark by the Kentucky Heritage Council, and providing the site is adjacent to an arterial or collector street.		

Conditional uses in proposed zones:

There is only one conditional use listed in the MUPD zone:

1. Fuel dispensing facilities when incidental to and operated as a part of and located within 1,000 feet of a grocery store containing at least 40,000 gross square feet and when such facilities are not directly adjacent to or fronting on US 27/Alexandria Pike.

There are no conditional uses listed for the HC-2 zone.

Zone map amendments are drawn to the centerline of adjacent streets. The development site measures approximately 53 acres, however the entire zone map amendment, measured to the adjacent centerlines, encompasses approximately 70.54 acres. Approximately 60.15 acres is proposed to be rezoned to MUPD and approximately 10.39 to be rezoned to HC-2.

According to the Cold Spring Zoning Ordinance Section 17.0 Amendment Procedure, E. Findings necessary for map amendment:

Before any map amendment is granted, the Planning Commission, or legislative body, must find that the amendment is in agreement with the adopted Comprehensive Plan, or in the absence of such a finding, that one or more of the following apply, including the making of a written report, setting forth explicitly, the reasons and substantiation as to how each would apply, and such finding and report shall be recorded in the minutes and records of the Planning Commission or legislative body.

- 1. That the existing zoning classification given to the property is inappropriate and that the proposed zoning classification is appropriate; and
- 2. That there have been major changes of an economic, physical, or social nature within the area involved which were not anticipated in the adopted Comprehensive Plan and which have substantially altered the basic character of such area.

Staff Comment – Zone Map Amendment

The proposed zone change is in agreement with the adopted 2018 Comprehensive Plan. The existing zoning classifications at these properties are inappropriate. The proposed zoning classification of Mixed-Use Planned Development (MUPD) is appropriate for the majority of the site. Because of proposed uses on the plan, an area of Highway Commercial-Two (HC-2) is proposed to allow uses in that location not permitted within an MUPD zone.

Staff recommends that the zoning designation be changed from R-RE, R-1C and R-3 to MUPD at the 60.15 acre section designated on the site plan, and from R-RE and R-3 to HC-2 at the 10.39 acre section designated on the site plan.

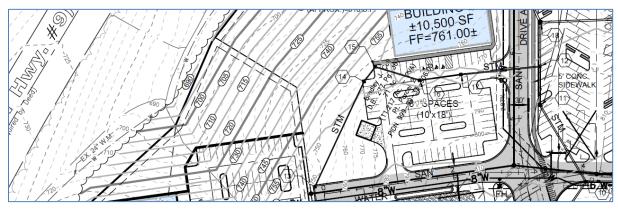
II. Considerations of Site Development Plan

The Applicant is submitting a combined Stage I and II Development Plan

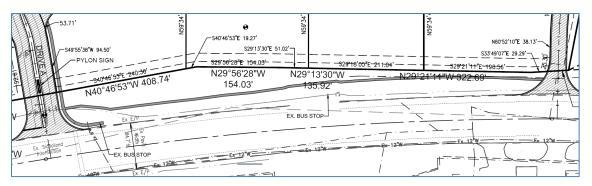
In conformance with Section 9.18 DEVELOPMENT PLAN REQUIREMENTS - STAGE I, II AND RECORD PLAT, and Section 10.15 MUPD – MIXED USE PLANNED DEVELOPMENT ZONE, paragraph(s) B., C., and D., the submitted Site Development Plan identifies and provides the following information:

Plan(s) of the subject property drawn to a scale not smaller than one (1) inch equals one hundred (100) feet showing:

a. The existing proposed finished topography of the subject property shown by contours with intervals of five (5) feet. C1.1



- b. Location, height, arrangement and identification of all nonresidential buildings and uses on the subject property and, location and arrangement of all lots with exact lot dimensions. C3.0-C3.3
- c. Design elements, including building materials and design. See Elevation drawings
- d. Open space areas, including identification of planting areas. C3.0
- e. Landscaping features, including identification of planting areas. L1.0 L4.0
- f. Location of signs indicating their orientation and size and height. C3.0, L3.0
- g. All utility lines and easements. C4.0-C4.2
- Location of all off-street parking, loading and/or unloading, and driveway areas, including typical cross sections, the type of surfacing, dimensions, and the number and arrangement of off-street parking, and loading and/or unloading spaces. C3.0-C3.2
- i. Circulation System including pedestrian walkways and drive aisles. A sidewalk along US-27 is proposed between "Drive A" and "Drive B". This would connect the development to the existing TANK bus stops. C3.0



- j. Provisions for control of erosion, hillside slippage and sedimentation, indicating the temporary and permanent control practices and measures which will be implemented during all phases of clearing, grading, and construction C6.0
- k. A tentative schedule of development in two phases. C1.0

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13. SCHEDULE: THE FOLLOWING IS A TENTATIVE SCHEDULE SUBJECT TO CHANGE WITH MARKET
DEMAND/CONDITIONS. START OF CONSTRUCTION TO FOLLOW UPON PERMIT APPROVALS AND WILL BE
PHASED.
PHASE 1 - (BUILDINGS A-F, OUT PARCELS A-D) START CONSTRUCTION JANUARY 2024
PHASE 2 - (BUILDING G & PROFESSIONAL OFFICE) COMPLETION EXPECTED OCTOBER 2026
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No residential uses are proposed. No recreational facilities are proposed. No new streets are proposed.

Comments

- 1. The proposal is a mixed-use development that includes a professional office and commercial uses.
- 2. The development will be built in phases as designated on the plans.
- 3. The HC-2 section of the proposal includes a gas station and four out-parcels.
- 4. The development of the four out-parcels can be done individually as-needed because they are not within the planned development portion of the project.
- 5. The sign ordinance allows signs to be approved as part of the development plan.

III. Considerations of Variances:

Section 18.6 Variances; Change from One Nonconforming Use to Another; Conditions Governing Applications; Procedures:

- 1. The Board of Adjustment¹ shall make findings that the requirements of this section of this ordinance have been met by the applicant for a variance.
- 2. The board of adjustment shall further make a finding that reasons set forth in the application justify the granting of a variance and that the variance is the minimum

¹ The Planning Commission is assuming the powers of the Board of Adjustments in this case pursuant to KRS 100.231, 100.233, 100.237, 100.241, 100.243, 100.247, and 100.251.

variance that will make possible the reasonable use of the land, building, or structure.

- 3. In granting any variance, the board of adjustment may prescribe appropriate conditions and safeguards in conformity with this ordinance. Violation of such conditions and safeguards, when made a part of the terms under which the variance is granted, shall be deemed a violation of this ordinance and punishable under Section 16.9 of this ordinance.
 - a. Before any variance is granted, the board of adjustment must find that the granting of the variance will not adversely affect the public health, safety, or welfare, will not alter the essential character of the general vicinity, will not cause a hazard or a nuisance to the public, and will not allow an unreasonable circumvention of the requirements of the zoning regulations. In making these findings, the board shall consider whether:
 - i. The requested variance arises from special circumstances which do not generally apply to land in the general vicinity, or in the same zone;
 - ii. The strict application of the provisions of the regulation would deprive the applicant of the reasonable use of the land or would create an unnecessary hardship on the applicant; and
 - iii. The circumstances are the result of actions of the applicant taken subsequent to the adoption of the zoning regulation from which relief is sought.
 - b. The board shall deny any request for a variance arising from circumstances that are the result of willful violations of this ordinance by the applicant subsequent to the adoption of this ordinance from which relief is sought.
- 4. VARIANCE CANNOT CONTRADICT ZONING REGULATION: The board of adjustment shall not possess the power to grant a variance to permit a use of any land, building, or structure which is not permitted by this ordinance in the zone in question, or to alter the density of dwelling unit requirements in the zone in question.
- 5. VARIANCE RUNS WITH LAND: A variance applies to the property for which it is granted and not to the individual who applied for it. A variance runs with the land and is transferable to any future owner of the land, but it cannot be transferred by the applicant to a different site.

The applicant is requesting the following variance requests:

- 1. Parking stall dimensional variance of two feet from the required 10' x 20' to 10' x 18'.
- 2. Setback requirements in the HC-2 section of the project:

Front yard setback variance of twenty-five (25) feet from the required fifty (50) feet in order to be consistent with requested front yard setback as requested for the MUPD zoned areas of the project.

Rear yard setback variance of fifteen (15) feet from the required twenty-five (25) to be consistent with rear yard setback as requested for the MUPD zoned areas of the

project.

- 3. Possible gas canopy within current 50' front yard setback at us27 (8.52' inside the 50' setback required per the hc-2 zone), if HC-2 front yard variance of 25' above is approved then a variance is not required.
- 4. Waiver of sidewalk requirements.

1. Variance for Parking Stall Size Requirements

The size of off-street parking spaces is specified in **Section 11.1 Design and Layout of Off-Street Parking Areas**, paragraph A:

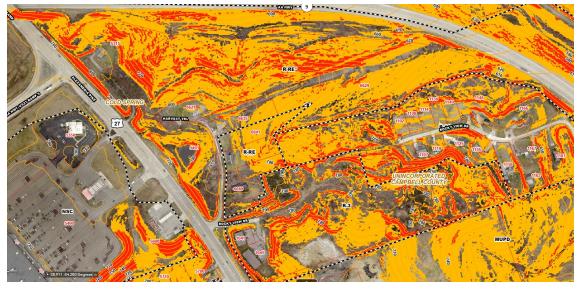
"For the purposes of this ordinance, one (1) off-street parking space shall be a minimum of ten (10) feet in width and twenty (20) feet in length, exclusive of access drives and aisles. Such parking spaces shall have a vertical clearance of at least seven (7) feet."

The plans indicate a mix of 90-degree and angled parking stalls measuring ten (10) feet wide by eighteen (18) feet deep. The proposal does include fifty-two (52) 10' x 20' parking stalls at the gas station.

	BUILD	ING AREA & PA	RKING SUMMARY	
		BUILDI	NG A	
	BLDG AREA S.F. (BA)	STORAGE S.F. (SA)	FLOOR AREA S.F. (BA-SA)	REQUIRED PARKING (4/1000 SF)
BUILDING A	5,944	-	5,944	24
PROVIDED PAR	KING = 52 SPACES		·	·
		BUILDI	NG B	
	BLDG AREA S.F. (BA)	STORAGE S.F. (SA)	FLOOR AREA S.F. (BA-SA)	REQUIRED PARKING (4/1000 SF)
BUILDING B	10,500	-	10,500	42
PROVIDED PAR	KING = 61 SPACES		•	
		BUILDING	SS C-G	
	BLDG AREA S.F. (BA)	STORAGE S.F. (SA)	FLOOR AREA S.F. (BA-SA)	REQUIRED PARKING (4/1000 SF)
BUILDING C	48,840	14,817	34,023	137
BUILDING C1	3,200	-	3,200	13
BUILDING D	2,400	-	2,400	10
BUILDING D1	4,000	-	4,000	16
BUILDING E	22,264	2,676	19,588	79
BUILDING F	55,150	5,250	49,900	200
BUILDING G	101,459	-	101,459	406
TOTALS	237,313	22,743	214,570	861
PROVIDED PAR	KING = 912 SPACES			

The applicant is requesting a variance of two (2) feet in parking stall depth.

The site plan indicates a total of 1025 parking spaces distributed as shown in the table above. The ordinance would require 927 spaces based on the proposed uses at the site. The plan exceeds the requirement by 98 spaces, less than 10 percent. By increasing the size of the spaces to twenty feet deep, the developer would not be able to meet the minimum parking requirements without a separate variance. The slightly smaller parking stalls enable the developer to meet the parking regulations while maintaining the required open space requirements of the MUPD zone.



Applicant Comment:

"The developer/engineer discussed the parking dimension with the City and their attorney, they we're fine with the length reduced to 18' but wanted to maintain 10' wide, this has been approved on recent developments within the City. If 20' long stalls are required, 10% or approx. 100 spaces would be lost, which would prohibit the development. We are providing 10' x 20' stalls at the fuel station as it is a tenant requirement. All the other tenants only require 9' x 18' stalls but 10' x 18" will be the minimum provided."

Staff Comment:

A parking stall depth variance of two feet will not adversely affect the public health, safety, or welfare, will not alter the essential character of the general vicinity, will not cause a hazard or a nuisance to the public, and will not allow an unreasonable circumvention of the requirements of the zoning regulations.

The requested variance arises from special circumstances due to topography, which do not generally apply to land in the general vicinity, or in the same zone;

The strict application of the provisions of the regulation would deprive the applicant of the reasonable use of the land or would create an unnecessary hardship on the applicant; and

The circumstances are the result of actions of the applicant taken subsequent to the adoption of the zoning regulation from which relief is sought.

Setback Requirements in the Highway Commercial-Two Zone				
Minimum Lot Width Front Yard Setback Side Yard Setback Rear Setback				
100 Feet	50 Feet	15 Feet*	25 Feet	
*No restrictions, except when adjacent to a dedicated street, road, highway, or other right-of-way, then the required width shall be the same as required for a minimum front yard depth in this zone. When buildings abut each other, firewall construction, as required by the building code, shall be required. In the event a side yard is provided, it shall never be less than fifteen (15) feet.				

2. Minimum Yard Depth Site-Wide (HC-2)

The minimum yard depths (setbacks) in the MUPD zone are to be approved as part of the development plan. A portion of the development area is proposed to be re-zoned to HC-2, which has specific setback distances.

The applicant is requesting a front yard setback variance of twenty-five (25) feet from the required fifty (50) feet in order to be consistent with requested front yard setback as requested for the MUPD zoned areas of the project; and

A rear yard setback variance of fifteen (15) feet from the required twenty-five (25) to be consistent with rear yard setback as requested for the MUPD zoned areas of the project.

Applicant Comment:

"Reduction in setbacks in the HC-2 zone is to be consistent with the requested setbacks for the MUPD zone and the HC-2 zone lots front along US27 where the R/W is wider than typical to allow for access to the Harvest Trails Road that will be removed as well as the drive to 5315 Alex Pike that will also be removed."

Staff Comment:

The front and rear yard setback variances will not adversely affect the public health, safety, or welfare, will not alter the essential character of the general vicinity, will not cause a hazard or a nuisance to the public, and will not allow an unreasonable circumvention of the requirements of the zoning regulations. The requested setback variances will not affect visibility along adjoining streets

The requested variance arises from special circumstances resulting from the extended KYTC right-of-way width, which do not generally apply to land in the general vicinity, or in the same zone;

The strict application of the provisions of the regulation would deprive the applicant of the reasonable use of the land or would create an unnecessary hardship on the applicant.

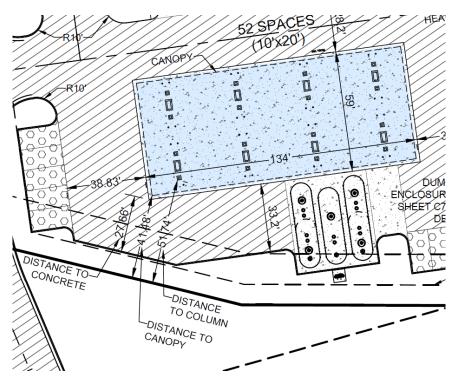
The circumstances are the result of actions of the applicant taken subsequent to the adoption of the zoning regulation from which relief is sought.

3. Minimum Yard Depth Gas Station Canopy (if site-wide setback variances are not approved, or if conditions of approval preclude the canopy from locating as proposed)

The minimum yard depths (setbacks) in the MUPD zone are to be approved as part of the development plan. A portion of the development area is proposed to be re-zoned to HC-2, which has specific setback distances.

Setback Requirements in the Highway Commercial-Two Zone				
Minimum Lot Width Front Yard Setback Side Yard Setback Rear Setback				
100 Feet	50 Feet	15 Feet*	25 Feet	
*No restrictions, except when adjacent to a dedicated street, road, highway, or other right-of-way, then the required width shall be the same as required for a minimum front yard depth in this zone. When buildings abut each other, firewall construction, as required by the building code, shall be required. In the event a side yard is provided, it shall never be less than fifteen (15) feet.				

The proposed gas station canopy is 41.48 feet from the property line. A variance of 8.52 feet is requested to situate in this location.



The right-of-way width at this point includes an access drive that will be removed for this development. It is in excess of 100 feet from the edge of pavement at US-27.



The applicant is in the process of acquiring right-of-way at this location from the State (KYTC) but at this writing is not in possession of it.

Staff Comment:

An approximately 8-foot setback variance will not adversely affect the public health, safety, or welfare, will not alter the essential character of the general vicinity, will not cause a hazard or a nuisance to the public, and will not allow an unreasonable circumvention of the requirements of the zoning regulations.

The requested variance arises from special circumstances which do not generally apply to land in the general vicinity, or in the same zone stemming from the extended state right-of-way at this location.

The strict application of the provisions of the regulation would deprive the applicant of the reasonable use of the land or would create an unnecessary hardship on the applicant by pushing the gas station facility deeper into the development site, sacrificing area necessary for internal circulation.

The circumstances are the result of actions of the applicant taken subsequent to the adoption of the zoning regulation from which relief is sought.

4. Sidewalk Requirements

Section 10.15 MUPD - mixed use planned development zone, paragraph O., 9.: Other Development Controls specifies that:

Sidewalks shall be required when any new development occurs.

The Subdivision Regulations specify:

Sidewalks shall be required as identified in Table 7-1 of these (subdivision) regulations. The planning commission may grant a modification or waiver to the sidewalk regulation as part of a Preliminary Plat, providing the planning commission shall find:

(a) that the plat for development, or other request, includes low densities and contains extremely large rural estate type lots;

(b) that the development, or request, will generate low traffic volumes without adversely jeopardizing pedestrian safety; and

(c) that the provision for sidewalks abutting existing streets or roadways, or other roadways, is impracticable, unnecessary, or will contribute to an attractive nuisance or other safety hazard.

Alternative pedestrian walkways to those identified in Table 7-1 of these regulations may be permitted by the planning commission provided such alternative(s) are determined to constitute an integral pedestrian circulation system equal to, or exceeding the requirement for sidewalks along both sides of a street. Such alternative pedestrian walkways may be within the public right-of-way, outside the public right-of-way within a public pedestrian circulation easement, or combination thereof.

Applicant Comment:

"Midland will extend the walk further north to the right-in/right-out at the fuel station/convenience store that is not currently shown on the plan. This will connect all 3 access drives and provide walks from the south end of the property to the north for approx. 1,325' or about 2/3 of the total frontage length of 2,000'. The remaining section north of the right-in/right-out drive leads to the bridge/overpass of the AA Highway where pedestrian access is not provided, similar to the development on the north side of AA Highway. Midland will improve the bus stop areas along the provided walks adjacent to US 27."

Staff Comment:

The development presents significant changes to the "essential character of the general vicinity". The development brings with it increased activity to a once quiet corner of the City. A lack of pedestrian facilities at this location presents a potential risk to public health and safety. Sidewalks would be consistent with the new "essential character of the general vicinity"

The development proposes a sidewalk connecting two of the three driveways entering the site that turns into the development, leading pedestrians to the front of Building C. This sidewalk connects the development to two TANK bus stops on the east side of US-27.

A waiver of sidewalk requirements does adversely affect the public health, safety, or welfare and does cause a potential hazard or a nuisance to the public, and would allow an unreasonable circumvention of the requirements of the zoning regulations.

Staff does not find that the plat for development includes "low densities or contains extremely large rural estate type lots";

Staff does not find that the development will generate "low traffic volumes without adversely jeopardizing pedestrian safety";

The US-27/AA Highway interchange is poorly designed for pedestrian safety. Staff does find that the provision for sidewalks abutting the AA highway frontage of the development site is "impracticable, unnecessary, and will contribute to an attractive nuisance or other safety hazard". Staff also finds that extending the sidewalk north of Drive C would only function to direct pedestrians to that dangerous interchange, hence staff finds a northern extension of of the sidewalk to also be "impractical, unneccessary and would contribute to an attractive nuisance or safety hazard".



Staff finds that the Phase 2 Professional Office Building is wholly inaccessible to pedestrians.

Staff does not find that the requested waiver arises from special circumstances that do not generally apply to land in the general vicinity, or in the same zone.

Staff also does not find that the strict application of the provisions of the regulation would deprive the applicant of the reasonable use of the land or would create an unnecessary hardship on the applicant.

Staff does agree that the circumstances surrounding this request are the result of actions of the applicant taken subsequent to the adoption of the zoning regulation from which relief is sought.

From the Comprehensive plan:

"The heavy retail and office focus of these areas makes them primarily auto oriented; however, opportunities to tie in pedestrian access between buildings and surrounding residential development is strongly encouraged through the use of sidewalks and off-street trails.... Pedestrian connections to surrounding neighborhoods are important but otherwise, uses should be screened from adjacent neighborhoods with vegetation and decorative fences."

The nature of the project is a regional shopping complex. By that nature, its design prioritizes vehicle traffic over pedestrian or bicycle traffic, which is presumably how the vast majority of its patrons will arrive at it. However, the development promises scores of new employment opportunities, and some of those new hires will be commuting to this location by means other than a car.

The applicant has proposed an updated sidewalk design subsequent to the original application submittal (see applicant comment above). Updated drawings showing the revised sidewalk are not available at the time of this writing.

Summary of Applicants Request:

The applicant is requesting:

- 1. Parking stall dimensional variance of two feet from the required 10' x 20' to 10' x 18'.
- 2. Setback requirements in the HC-2 section of the project:

Front yard setback variance of twenty-five (25) feet from the required fifty (50) feet in order to be consistent with requested front yard setback as requested for the MUPD zoned areas of the project.

Rear yard setback variance of fifteen (15) feet from the required twenty-five (25) to be consistent with rear yard setback as requested for the MUPD zoned areas of the project.

- 3. Possible gas canopy within current 50' front yard setback at us27 (8.52' inside the 50' setback required per the hc-2 zone), if HC-2 front yard variance of 25' above is approved then a variance is not required.
- 4. Waiver of sidewalk requirements; and
- 5. Site Development plan approval.

Staff Recommendation:

- 1. To approve:
 - a. Parking stall dimensional variance of two feet from the required 10' x 20' to 10' x 18'.
 - b. A front yard setback variance of twenty-five (25) feet from the required fifty (50) feet in the HC-2 section in order to be consistent with requested front yard setback as requested for the MUPD zoned areas of the project.
 - c. A rear yard setback variance of fifteen (15) feet from the required twenty-five (25) in the HC-2 section to be consistent with rear yard setback as requested for the MUPD zoned areas of the project.
- 2. If HC-2 front yard variance of twenty-five (25) feet above is not approved, or, if conditions of approval do not allow setback variance at the gas canopy location, staff recommends approval of a nine (9) foot front yard setback variance to permit the proposed location of the gas station canopy.

- 3. To approve the waiver of sidewalk requirements with the following condition:
 - a. That the proposed sidewalk as shown on the plans be extended to meet the Phase 2 Professional Office Building either by appropriate striping within the complex, a paved extension, or a combination of both.
- 4. To approve the Site Development Plan with the following conditions:
 - a. That the subject area currently in Unincorporated Campbell County be annexed in to the City of Cold Spring,
 - b. That an engineering review be completed by a City-authorized engineer.
 - c. That a traffic study be completed.

Bases for Staff Recommendation:

- 1. The submitted request is appropriate for this site since it is in compliance with the City of Cold Spring Comprehensive Plan, Subdivision Regulations and Zoning Ordinance.
- 2. In accordance with Section 18.2 of the Zoning Ordinance, proper notice of public hearing was given.
- 3. The evidence presented by the applicant and staff is such as to make a finding that:
 - a. The requirements for a variance have been met by the applicant for a variance and the variance is the minimum variance that will make possible the reasonable use of the land, building, or structure.
 - b. The variances requested will not adversely affect the public health, safety, or welfare, will not adversely alter the essential character of the general vicinity, and will not cause a hazard or nuisance to the public and will not allow an unreasonable circumvention of the requirements of the zoning regulations.

Additional Information to the Applicant:

1. A stormwater plan must be submitted to and approved by the City of Cold Spring

If you need additional information or clarification prior the meeting, you may contact us at 859-292-3880.

Sincerely,

Kirk Hunter, AICP Principal Planner

Attachments (2)



Friday, August 4, 2023

Ms. Cindy Mentor Campbell County Planning and Zoning 1098 Monmouth Street, Suite 343 Newport, KY 41071

RE: Midland Atlantic Properties ("MAP") zone change submittal of US-27-Alexandria Pike, Route 9-AA Highway located in Cold Spring, Campbell County, KY ("Project") to Mixed-Use Planned Development ("MUPD")

Dear Ms. Mentor,

MAP is excited to present "Cold Spring Pointe" for your review and consideration – Cold Spring Pointe is a 350,000 sq. ft. mixed use development located at the highly visible corner of US-27 and the AA Highway. It is our vision that Cold Spring Pointe will serve the daily needs of Cold Spring and greater Campbell County residents for decades to come.

A little bit about Midland Atlantic Properties - MAP is a full-service developer specializing in the development, management, and leasing of grocery anchored retail. MAP has developed over 50 shopping centers and has an existing portfolio in excess of 30 centers across 18 states. We take great pride in our shopping centers, maintain them in first-class manner and are committed to serving the communities we invest in.

To maintain a shopping center in a first-class manner, it needs to be built with first-class design elements. As a result, Cold Spring Pointe and its associated design is intended to achieve such standards. Below is a list of the standards MAP and Cold Spring Pointe's design aim to achieve:

- "Landscaping, landscaping, landscaping" landscaping design and the required ongoing maintenance thereof is critical to achieving a high-quality shopping center. MAP has a history of prioritizing landscaping throughout our portfolio and Cold Spring Pointe will be no different.
- All buildings constructed at Cold Spring Pointe will be of varying design, but similar materials and colors being used throughout allowing for a singular cohesive standard of design. A design the City of Cold Spring will be proud to shop, eat and play.
- Materials will include brick, composite wood cladding, split face block, and other high-quality materials metal siding will not be permitted.
- Internal shopping center sidewalks will be wide and have welcoming additions such as large planter boxes.

The aforementioned items are critical to any successful project – MAP understands that and will ensure we meet or achieve any such standards for Cold Spring Pointe.

Thank you for your consideration and if you have any questions or concerns, please call me at 513-792-5013 or email with your request at <u>criney@midlandatlantic.com</u>.

Sincerely, Clayton Rine Midland Atlantic Properties



July 27, 2023

Bayer Becker 209 Grandview Drive Ft. Mitchell, Ky. 41017 Attn: Rob Keller, P.E. LEED AP

Re: Water Availability for Cold Spring Retail Site at Alexandria Pike (US 27), Cold Spring, Campbell County, KY

The Northern Kentucky Water District maintains a 12" water main that runs along Alexandria Pike in Cold Spring, Ky. This water main may be tapped for domestic service and/or fire protection service per the Water District Rules and Regulations. Any needs in excess of the available water at the site, is the responsibility of the developer to provide (e.g. additional domestic needs for processing or increased fire protection requirements).

If the District can be of any further assistance in this matter, please feel free to contact this office at 859-426-2720.

Cordially,

Greg Napier Engineering Technician

cc: file



August 1, 2023

Rob Keller Bayer Becker 209 Grandview Drive Fort Mitchell, KY 41017

Subject: Sewer Availability for, Cold Spring Retail Site at SE Corner of US 27 and AA Highway, Campbell County.

Dear Rob Keller,

This letter is in response to your request for written confirmation of the status of sewer availability for the subject private development project.

After an internal review, public sanitary and storm sewers are in proximity to this proposed development and are available for use to serve this development upon approval of all applicable sanitary and storm water applications.

If you need additional details regarding the sanitary and or storm sewers, please do not hesitate to contact me.

Regards,

and aman

Andy Aman Director of Development Services SD1



Memorandum of Understanding

Date:	June 15, 2023
То:	Linzy Brefeld, Kentucky Transportation Cabinet, District 6 James Minckley, Kentucky Transportation Cabinet, District 6
From:	Katie Dillenburger, Bayer Becker
cc:	Cindy Minter, Campbell County Planning & Zoning Clayton Riney, Midland Atlantic Properties Rob Keller, Bayer Becker
Subject:	Cold Spring Mixed Use Development – Alexandria Pike (US 27) & AA Highway (KY 9) Traffic Impact Study – Proposed Scope of Work

Plans for a mixed use development are proposed at the southeast corner of Alexandria Pike (US 27) & AA Highway (KY 9), in the City of Cold Spring, Campbell County, Kentucky.

Based on the attached concept plan, the proposed development is to consist of various retail, service, restaurant, and office land uses.

Access is to be provided at three locations along Alexandria Pike (U 27), opposite existing driveways, including a right-in/right-out drive approximately 450 feet south of the AA Highway (KY 9) southbound ramps, a full movement drive at the Meijer signalized intersection, approximately 320 feet south of the right-in/right-out drive, and a full movement drive approximately 960 feet south of the signal.

Based on initial communication with KYTC, a traffic impact study (TIS) for the Cold Spring mixed use proposed development is required. As such, Bayer Becker has prepared the following TIS proposed scope of work, which is submitted to KYTC for review and approval.

- The study area shall consist of the following key intersections:
 - o Alexandria Pike (US 27) and the AA Highway (KY 9) Southbound Ramps
 - Alexandria Pike (US 27) and the Proposed Site Access #1
 - o Alexandria Pike (US 27) and the Meijer Driveway/Proposed Site Access #2
 - o Alexandria Pike (US 27) and the Speedway Driveway A/Proposed Site Access #3
 - Alexandria Pike (US 27) and the Speedway Driveway B
- Weekday 12-hour turning movement traffic counts shall be conducted on a typical Tuesday, Wednesday, or Thursday (non-holiday, with school in-session), from 6:00 AM to 6:00 PM, at the following existing study area key intersections:
 - Alexandria Pike (US 27) and the AA Highway (KY 9) Southbound Ramps
 - o Alexandria Pike (US 27) and the Meijer Driveway/Proposed Site Access #2
- Weekday AM and PM peak hour turning movement traffic counts shall be conducted on a typical Tuesday, Wednesday, or Thursday (non-holiday, with school in-session), from 7:00 AM to 9:00 AM and from 4:00 PM to 6:00 PM, at the following remaining existing study area key intersections:
 - Alexandria Pike (US 27) and the Proposed Site Access #1
 - Alexandria Pike (US 27) and the Speedway Driveway A/Proposed Site Access #3
 - Alexandria Pike (US 27) and the Speedway Driveway B

The peak hours shall be confirmed and/or adjusted based on the data collected at the intersections of Alexandria Pike (US 27) at the AA Highway (KY 9) Southbound Ramps and at the Meijer Driveway.



- The analysis years shall consist of:
 - o 2023 existing year (no build conditions)
 - 2025 opening year (no build and build conditions)
 - 2027 full build out year (no build and build conditions)
 - o 2035 horizon year (no build and build conditions)
- The 2023 existing traffic volumes shall be projected to future analysis years, 2025, 2027, and 2035 no build (background) traffic volumes, using an estimated growth rate of 0.50 percent, which was determined from historic traffic data published by KYTC, attached for reference.
- Site trips for the proposed development, for the weekday AM and PM peak hours of adjacent street traffic, shall be calculated using the latest edition of the Institute of Transportation Engineers (ITE) Trip Generation Manual.
- Site trip distribution and traffic assignment for the proposed development shall be prepared for the weekday AM and PM peak hours, at the key intersections, based on the existing distribution of traffic and knowledge of the study area and of the proposed development.
- Using the existing traffic volumes and the traffic volume projections for future analysis years (existing, no build, and build scenarios), the following analysis shall be completed for each of the key intersections, in accordance with KYTC guidelines and standards:
 - Turn Lane Analysis. Completed per the KYTC Highway Design Guidance Manual and/or the KYTC Turn Lane Warrant spreadsheet. As applicable, storage length calculations shall be prepared for existing and warranted turn lanes.
 - Intersection Level of Service (LOS) Analysis. Completed using the latest version of Highway Capacity Software (HCS) and in accordance with the highway Capacity Manual (HCM).
 - o Queue Analysis. Also completed using the latest version of HCS.
- Based on the results of the above analysis and review, mitigation improvements shall be identified, if any, to offset the impact of the proposed development, (i.e., construction of turn lanes, additional through lanes, modification of roadway geometrics, signalization, signal modifications, etc.).
 - As appropriate, a concept plan shall be prepared per KYTC requirements presenting such TIS improvements using GIS (geographic information system) mapping as a base.
- Complete information, calculations, and results of the analysis shall be summarized in a TIS report, which shall be submitted to KYTC and Campbell County for review and approval.

As previously indicated, this proposed TIS scope of work is submitted to KYTC and Campbell County for review. Upon approval of this MOU, Bayer Becker will proceed with TIS preparations.

Attachments

22-0059 Cold Spring Mixed Use Development - US 27 & AA Hwy - TIS MOU 230615.docx

TIS Simplified Traffic Forecast

Count Year	2023
Opening Year	2025
Design Year	2035
Years Back	15

R

Number of Counts <u>12</u>

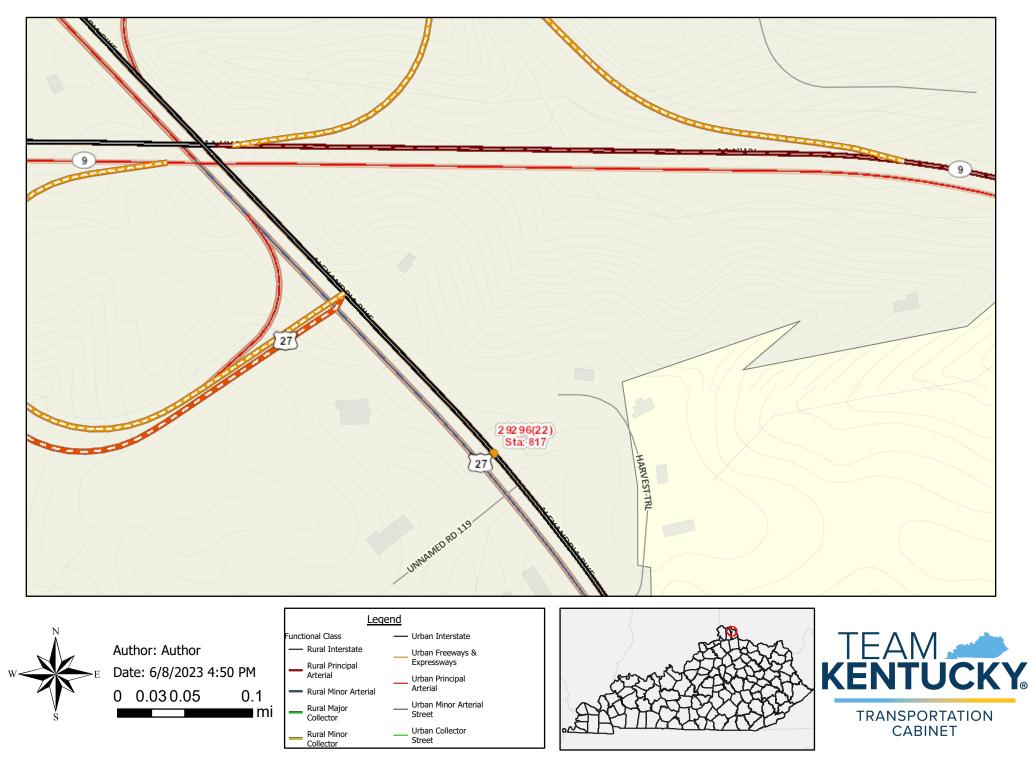
Growth Rate 0.39%

	ific Count		
	KYTC Traffic Count Station #1		
STA ID	019817		
Paste Count			
Data Here			
2023			
2022	29296		
2021	29639		
2020			
2019	28905		
2018	29049		
2017	29598		
2016	29059		
2015	29303		
2014	28141		
2013	26480		
2012	27154		
2011	29200		
2010	29100		
2009			
2008 2007	30800		
2007	28800		
2000	20000		
2003			
2004			
2002	28800		
2001			
2000	28500		

Statio	ffic Count on #2	
STA ID		
Paste Count Data Here		

KYTC Traffic Count Station #3 STA ID		
Paste Count Data Here		

Cold Spring KY



Historical Traffic Volume Summary Station Details:

Station Detail	5.		
Sta ID:	019817	Begin MP:	11.8660
Sta Type:	Full Coverage	Begin Desc:	KY 709
Мар:	<u>Maplt</u>	End Mp:	13.7280
District:	6	End Desc:	KY 9 (JOHN Y BROWN AA HWY)
County:	Campbell	Impact Year:	
Route:	019-US-0027 -000	Year Added:	1993
Pouto Doco:			

_	Newest Cou	unt:
	AADT:	29296
	Year:	2022
	% Single:	9.7550
	% Combo:	1.2010
	K Factor:	9.20
	D Factor:	62

Route Desc: ALEXANDRIA PIKE

Definitions:

Sta. ID - Three digit county number + station number

MP - milepoint

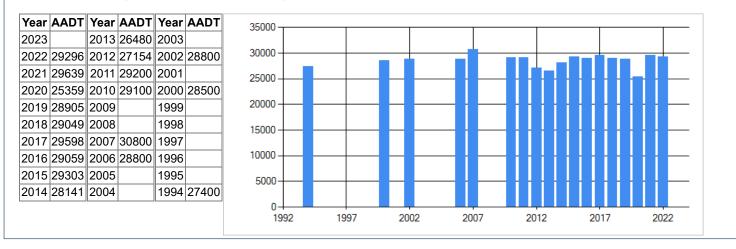
Impact Year – year of significant change to traffic pattern within station segment

AADT – Annual Average Daily Traffic – the annualized average 24-hour volume of vehicles on a segment of roadway % Single – single unit truck volume as a percentage of the AADT

% Combo – combination truck volume as a percentage of the AADT % Combo – combination truck volume as a percentage of the AADT

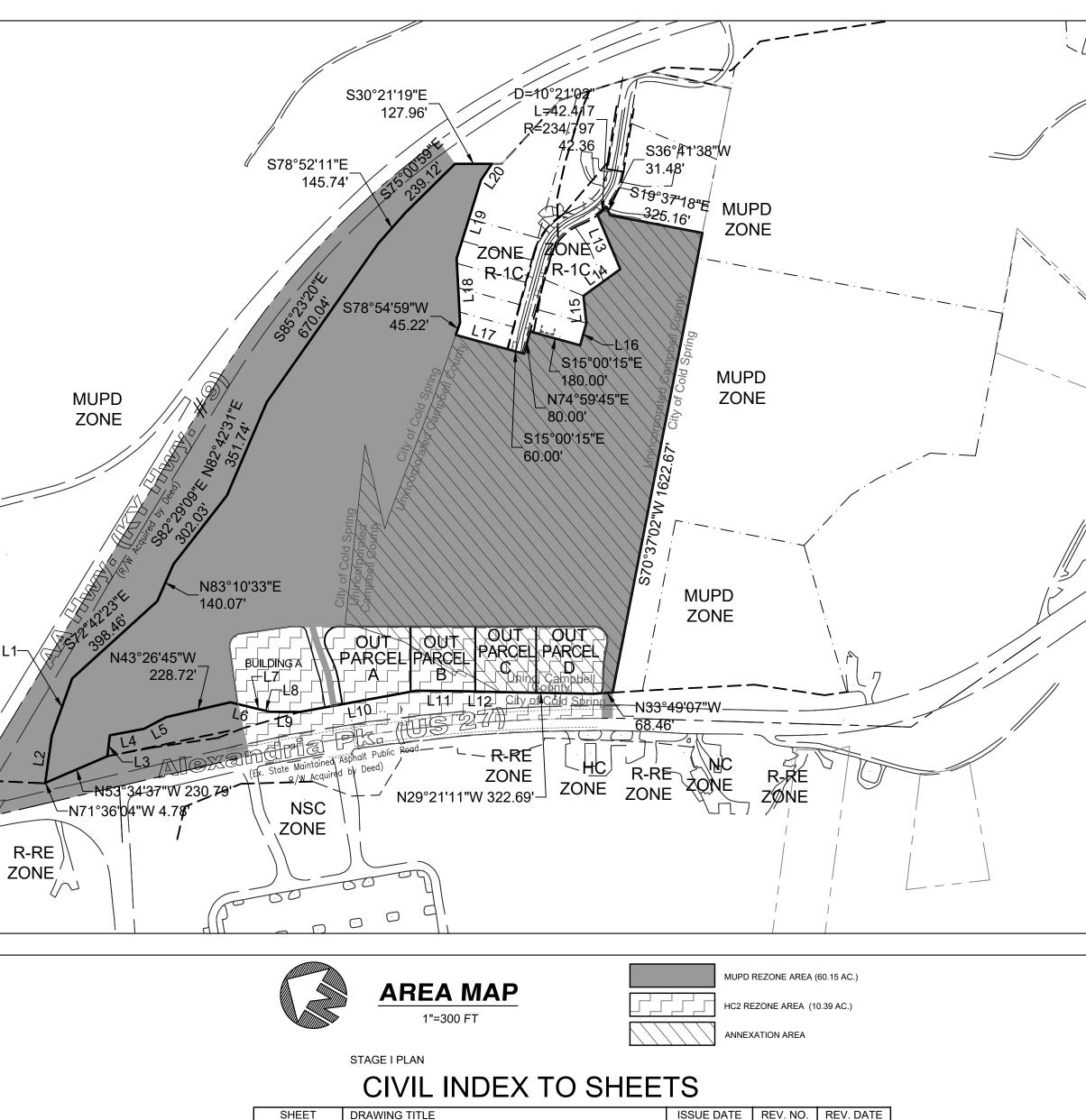
K Factor – peak hour volume as a percentage of the AADT

D Factor – percentage of peak hour volume flowing in the peak direction



	PIDN: 999-99-17-908.00, 999-99-17-910.00, 999-99-19-782.00, 999-99-17-883.00, 999-99-20-515.00,	
	999-99-17-610.00, 999-99-18-860.00, 999-99-18-860.01, 999-99-17-907.02, 999-99-17-9073.13, 999-99-19-831.00, 999-99-18-446.00, 99-99-19-993.00, 999-99-19-928.05, 999-99-19-928.06 BUILDING A ACREAGE: ±1.82 AC.	
	BUILDINGS B-G ACREAGE: 41.23 AC. OUT PARCELS A-D ACREAGE: ±5.03 AC. PROFESSIONAL OFFICE ACREAGE: ±5.18 AC.	S
2.	CURRENT ZONING: R-RE (RESIDENTIAL RURAL ESTATE) & R-3 (RESIDENTIAL -3) PROPOSED ZONING: MUPD (MIXED USE PLANNED DEVELOPMENT) 46.14 AC.	
	MINIMUM FRONT YARD BUILDING SETBACK = 25' MINIMUM SIDE YARD BUILDING SETBACK = 10'	
	MINIMUM REAR YARD BUILDING SETBACK = 10' MAXIMUM BUILDING HEIGHT = 50' / 4 STORIES WITH PATIO ROOFTOPS HC2 (HIGHWAY COMMERCIAL-2) 7.12 AC.	
	MINIMUM LOT AREA = 1 ACRE MINIMUM FRONTAGE = 100'	
	MINIMUM FRONT YARD BUILDING SETBACK = 25' (SEE VARIANCE REQUEST BELOW) MINIMUM SIDE YARD BUILDING SETBACK = NONE REQUIRED PER SECTION 10.16 C. 4. MINIMUM REAR YARD BUILDING SETBACK = 10' (SEE VARIANCE REQUEST BELOW)	
	MAXIMUM BUILDING HEIGHT = 40' PROPOSED USES:	
3.	COMMERCIAL & RETAIL USES NO ADDITIONAL PUBLIC RIGHT-OF-WAY IS ANTICIPATED. EASEMENTS WILL BE PROVIDED FOR ALL PUBLIC	
	UTILITIES AS REQUIRED, OR AS SHOWN: SANITARY SEWER = 20' (SD1) WATERMAIN = 20' (NKWD)	
	UTILITY EASEMENT = 15' (DUKE ENERGY) STORM SEWER = PER CITY OF COLD SPRING STANDARDS	
4. 5.	PRELIMINARY CONCEPTUAL GRADING SHOWN WITH 5' CONTOUR INTERVALS. MUPD ZONE REQUIRED 20% OPEN SPACE	
6.	REQUIRED (46.01 AC.*0.2) = 9.20 AC. PROVIDED = 12.97 AC. APPROXIMATE LOCATIONS OF PROPOSED PEDESTRIAN WALKWAYS HAVE BEEN SHOWN.	
7. 8.	NO ADDITIONAL PUBLIC STREETS OR RIGHT-OF-WAY IS ANTICIPATED WITH THIS PROJECT. THE APPROXIMATE LOCATION OF THE UTILITY NETWORKS HAVE BEEN SHOWN FOR REFERENCE. UTILITY	
0.	LOCATIONS AND SIZES TO BE CONFIRMED WITH THE SITE PLAN TO MEET THE REQUIREMENTS OF THE UTILITY COMPANY. ELECTRIC AND TELEPHONE SERVICE TO BE PROVIDED PER UTILITY COMPANY	
9.	REQUIREMENTS. UTILITY AVAILABILITY: 18" EXISTING SANITARY SEWER AT AA HIGHWAY (KY HWY #9) AND EXISTING 12" WATER MAIN ALONG US 27 (ALEXANDRIA PIKE)	
10.	WATER MAIN ALONG US 27 (ALEXANDRIA PIKE). SOIL TYPES (PER USDA SOIL CONSERVATION SERVICE MAPS): EdD2 (EDEN SILTY CLAY LOAM. 12-20% SLOPES, ERODED)	
	EdE2 (EDEN SILTY CLAY LOAM, 20-35% SLOPES, ERODED) FcC (FAYWOOD SILTY CLAY LOAM, 6-12% SLOPES)	
11.	NIB (NICHOLSON SILT LOAM, 0-6% SLOPES) PARKING TO BE PROVIDED PER ARTICLE XI OF THE CITY OF COLD SPRING ZONING ORDINANCE.	
12. 13.	MUPD ZONE HC2 ZONE SEE ARCHITECTURAL BUILDING ELEVATIONS FOR BUILDING HEIGHTS. SCHEDULE: THE FOLLOWING IS A TENTATIVE SCHEDULE SUBJECT TO CHANGE WITH MARKET DEMAND/CONDITIONS, START OF CONSTRUCTION TO FOLLOW UPON DEPAUT APPROVALS AND WILL BE	
	DEMAND/CONDITIONS. START OF CONSTRUCTION TO FOLLOW UPON PERMIT APPROVALS AND WILL BE PHASED. PHASE 1 - (BUILDINGS A-F, OUT PARCELS A-D) START CONSTRUCTION JANUARY 2024	
	PHASE 2 - (BUILDING G & PROFESSIONAL OFFICE) COMPLETION EXPECTED OCTOBER 2026	
AL DE SF DI W AL KE	IERAL NOTES LI STORM SEWER AND STORM WATER DETENTION BASINS SHALL BE ESIGNED AND CONSTRUCTED IN ACCORDANCE WITH THE CITY OF COLD PRING SUBDIVISION REGULATIONS. LI SANITARY SEWER SHALL BE PUBLIC AND MAINTAINED BY THE SANITATION STRICT #1. ALL CONSTRUCTION AND MATERIAL SHALL BE IN CONFORMANCE ITH THE "RULES AND REGULATION OF THE SANITATION DISTRICT #1". LI WATERMAIN SHALL BE PUBLIC AS NOTED AND MAINTAINED BY "NORTHERN ENTUCKY WATER DISTRICT STANDARDS AND SPECIFICATIONS FOR WATER	
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OLD SPRING POINTE TAGE I DEVELOPMENT PLAN **CITY OF COLD SPRING** CAMPBELL COUNTY, KENTUCKY



SHEET	DRAWING TITLE	ISSUE DATE	REV. NO.	REV. DATE
C1.0	CIVIL TITLE SHEET	8-4-23		
C1.1	STAGE I CIVIL PLAN	8-4-23		
L1.0	STAGE I LANDSCAPE PLAN	8-4-23		

UTILITY COMPANIES

Sanitary Sewer	Sanitation District #1
Storm Sewer	City of Cold Spring
Water	Northern Kentucky Water District
Gas	Duke Energy
Electric	Duke Energy
Telephone	Alta Fiber

(859) 578-7467 (859) 441-9604 (859) 426-2713 (859) 534-4369 (859) 534-4369 (513) 397-9848



NOT TO SCALE

ABBREVIATION LEGEND

DEVELOPER:

MIDLAND ATLANTIC PROPERTIES 8044 MONTGOMERY RD, SUITE 370 CINCINNATI, OH 45236 513-792-5000 jsilverman@midlandatlantic.com criney@midlandatlantic.com

ENGINEER & SURVEYOR:

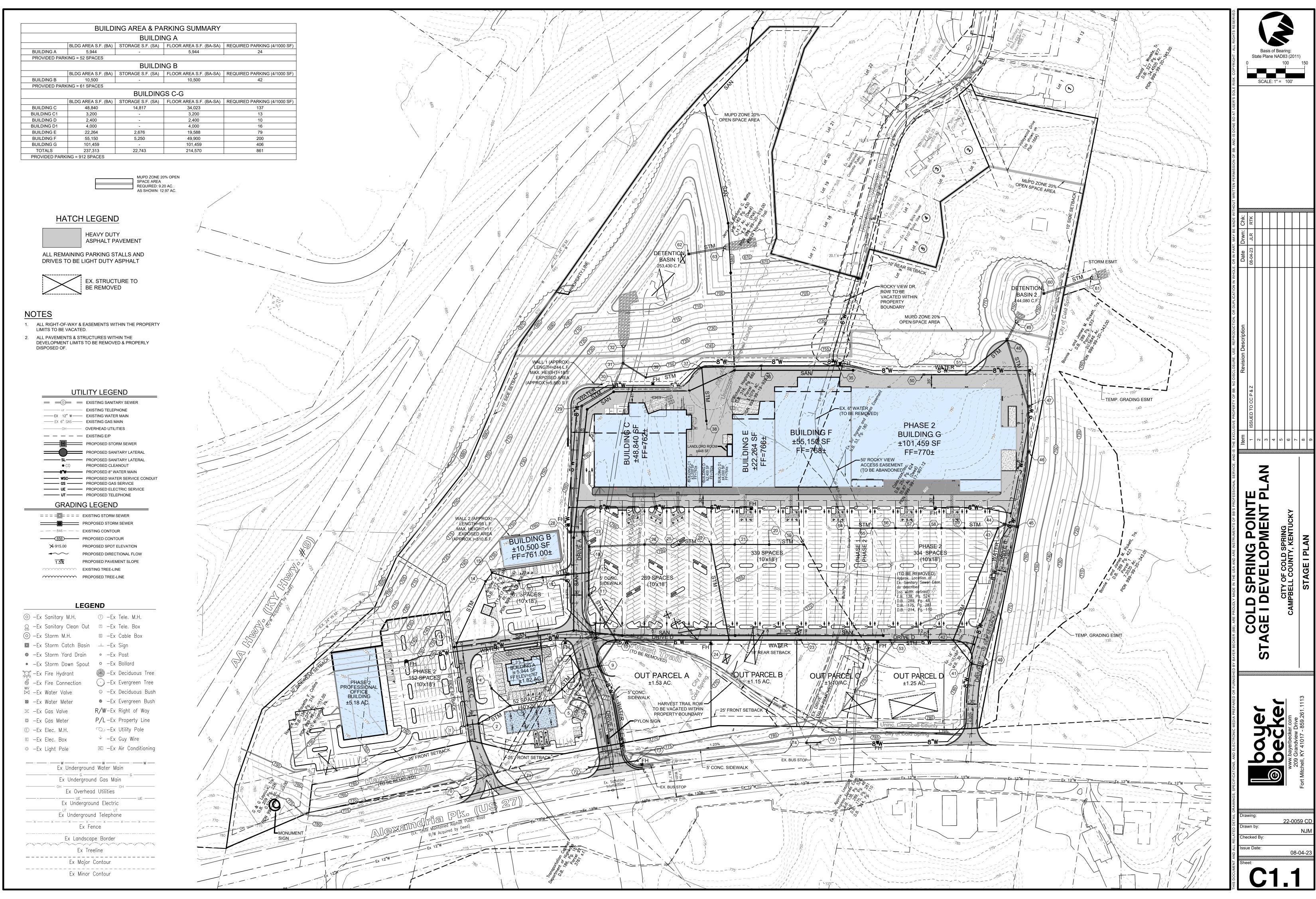
BAYER BECKER 209 GRANDVIEW DRIVE FT. MITCHELL, KY 41017 859-415-1605 robkeller@bayerbecker.com

ARCHITECT:

FREEMAN MORGAN ARCHITECTS 7229 FOREST AVE, SUITE 209 RICHMOND, VA 23226

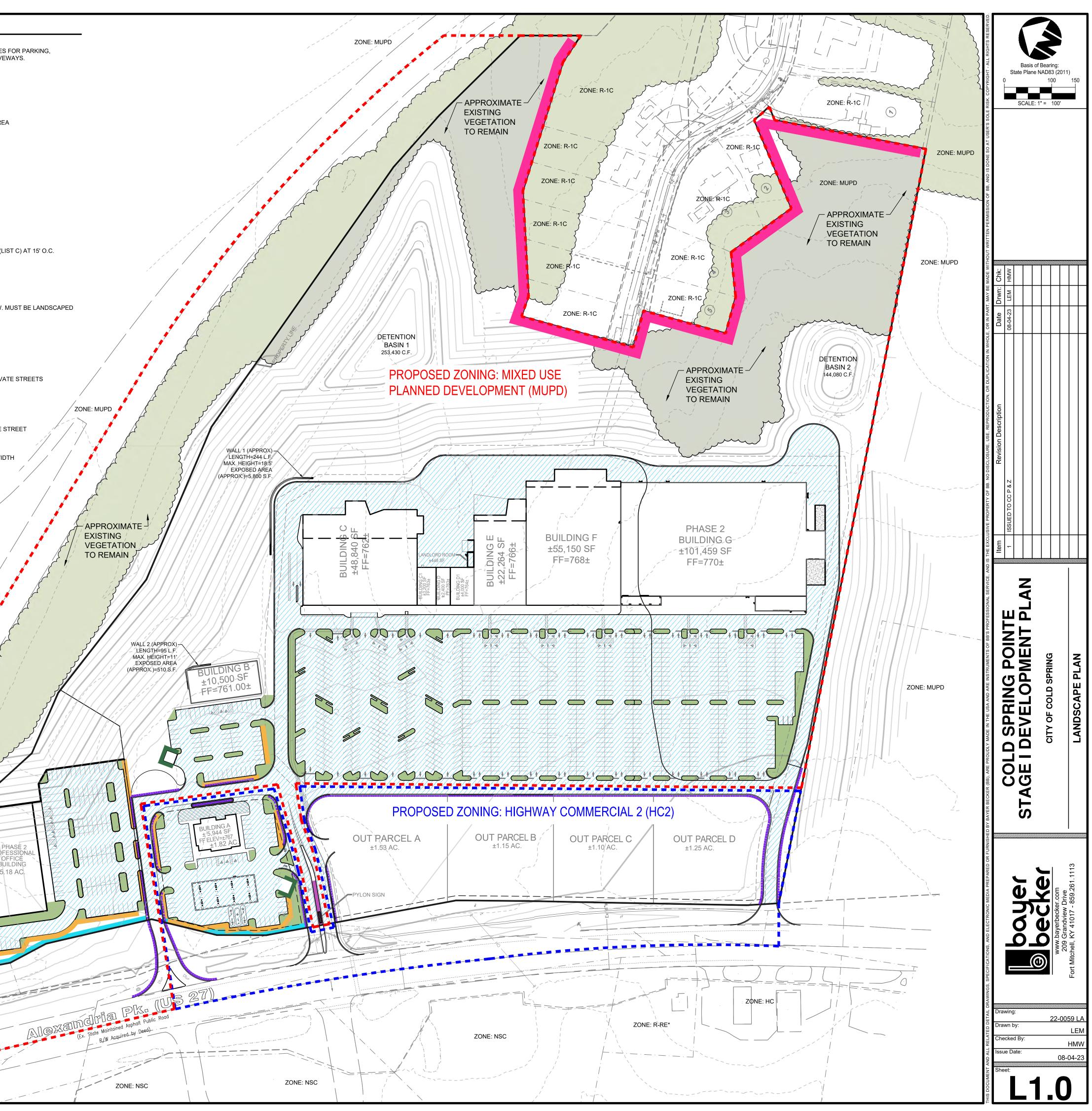
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	www.baverbecker.com	CAMPREIL COLINTY KENTICKY	9		
50 3000 8 8	209 Grandview Drive		2		
59 (JL R1	Fort Mitchell, KY 41017 - 859.261.1113		8		
			6		

LINE TABLE				
Line	Direction	Dist.		
L1	N79°07'22"E	210.09'		
L2	N67°36'38"E	167.01'		
L3	S66°04'14"W	73.23'		
L4	N41°09'58"W	120.79'		
L5	N58°24'18"W	86.29'		
L6	N16°49'30"W	89.56'		
L7	N16°49'30"W	21.54'		
L8	N16°30'10"W	30.07'		
L9	N30°12'03"W	104.12'		
L10	N40°46'53"W	408.74'		
L11	N29°56'28"W	154.03'		
L12	N29°13'30"W	135.92'		
L13	N36°41'38"E	203.08'		
L14	S66°15'56"E	157.46'		
L15	N53°37'08"E	94.89'		
L16	N74°59'45"E	80.00'		
L17	S15°00'15"E	185.10'		
L18	S56°27'34"W	222.74'		
L19	S76°53'34"W	284.56'		
L20	N86°32'18"W	67.62'		



iime: Aug 04, 2023 - 10:50am /ing name: J:\2022\22-0059\CV\D\VG\22-0059 CD.dwg - Layou

VEHICULAR USE AREA (VUA)
ANY AREA USED BY (2) OR MORE MOTOR VEHICLES LOADING/UNLOADING, SALES, SERVICES, OR DRIVE
Takeoff: 718,467 sf
INTERIOR VUA LANDSCAPING MINIMUM 5% OF VUA
(1) TREE PER 250 SF OF INTERIOR LANDSCAPE ARE
Takeoff: 66,593 sf (9%) PROVIDED ~150 TREES
SIGNAGE PLANTING
(1) SF OF PLANTING PER SF OF SIGNAGE
Takeoff: 1,958 sf
RESIDENTIAL BUFFER MINIMUM 20' WIDTH
DOUBLE ROW, STAGGERED, EVERGREEN TREES (L
Takeoff: 2,021 If ~105 TREES
COMMERCIAL ADJACENT TO PUBLIC R.O.W. 10% OF FRONT YARD ADJACENT TO PUBLIC R.O.W. 1 (3) TREES PER 100 LF OF ROAD FRONTAGE
Takeoff: 1,400 lf ~50 TREES
STREET TREES
4' MINIMUM WIDTH (1) TREE 60' O.C. MAX. ALONG ALL PUBLIC OR PRIVA
Takeoff: 3,231 If ~85 TREES
VUA PERIMETER ADJOINTING PUBLIC OR PRIVATE 3 10'FT MIN. PERIMETER SCREENING EASEMENT
(1) LIST A TREE PER 40 LF + 8 SHRUBS* OR (1) LIST B TREE PER 25 LF + 8 SHRUBS*
*SHRUBS NOT REQUIRED IF GREATER THAN 25' WIE
Takeoff: 1,791 If ~45 TREES
DUMPSTER SCREENING FENCING
OPTIONAL: HEDGE ON THREE SIDES
DUTPARCELS WILL MEET ALL
EXCLUDED FROM LATIONS/AREAS PROVIDED
231 21 -3
A B The
PROF
Bi ±5
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MONUMENT



	TOTAL ACREAGE: 53.26± ACRES (See "AREA MAP") PIDN: 999-99-17-908.00, 999-99-17-910.00, 999-99-19-782.00, 999-99-17-883.00, 999-99-20-515.00, 999-99-17-610.00, 999-99-18-860.00, 999-99-18-860.01, 999-99-17-907.02, 999-99-17-9073.13, 999-99-19-831.00, 999-99-18-446.00, 99-99-19-993.00, 999-99-19-928.05, 999-99-19-928.06 BUILDING A ACREAGE: ±1.82 AC.		\mathbf{O}	
	BUILDING A ACREAGE: ±1.62 AC. BUILDINGS B-G ACREAGE: ±1.23 AC. OUT PARCELS A-D ACREAGE: ±5.03 AC.			
2.	PROFESSIONAL OFFICE ACREAGE: ±5.18 AC. CURRENT ZONING: R-RE (RESIDENTIAL RURAL ESTATE) & R-3 (RESIDENTIAL -3)			
	PROPOSED ZONING: MUPD (MIXED USE PLANNED DEVELOPMENT) 46.14 AC. MINIMUM FRONT YARD BUILDING SETBACK = 25'	C	ΤА	
	MINIMUM SIDE YARD BUILDING SETBACK = 10' MINIMUM REAR YARD BUILDING SETBACK = 10'			
	MAXIMUM BUILDING HEIGHT = 50' / 4 STORIES WITH PATIO ROOFTOPS HC2 (HIGHWAY COMMERCIAL-2) 7.12 AC.			
	MINIMUM LOT AREA = 1 ACRE MINIMUM FRONTAGE = 100' MINIMUM FRONT YARD RUU DING SETRACK = 25' (SEE) YARIANGE REQUEST RELOW)			
	MINIMUM FRONT YARD BUILDING SETBACK = 25' (SEE VARIANCE REQUEST BELOW) MINIMUM SIDE YARD BUILDING SETBACK = NONE REQUIRED PER SECTION 10.16 C. 4. MINIMUM REAR YARD BUILDING SETBACK = 10' (SEE VARIANCE REQUEST BELOW)			
	MAXIMUM BUILDING HEIGHT = 40'			ſ
3.	COMMERCIAL & RETAIL USES NO ADDITIONAL PUBLIC RIGHT-OF-WAY IS ANTICIPATED. EASEMENTS WILL BE PROVIDED FOR ALL PUBLIC			
	UTILITIES AS REQUIRED, OR AS SHOWN: SANITARY SEWER = 20' (SD1)			
	WATERMAIN = 20' (NKWD) UTILITY EASEMENT = 15' (DUKE ENERGY) STORM SEWER = PER CITY OF COLD SPRING STANDARDS			
4.	PRELIMINARY CONCEPTUAL GRADING SHOWN WITH 5' CONTOUR INTERVALS.			
5.	MUPD ZONE REQUIRED 20% OPEN SPACE REQUIRED (46.01 AC.*0.2) = 9.20 AC.			
6.	PROVIDED = 12.97 AC. APPROXIMATE LOCATIONS OF PROPOSED PEDESTRIAN WALKWAYS HAVE BEEN SHOWN.			
7. 8	NO ADDITIONAL PUBLIC STREETS OR RIGHT-OF-WAY IS ANTICIPATED WITH THIS PROJECT. THE APPROXIMATE LOCATION OF THE UTILITY NETWORKS HAVE BEEN SHOWN FOR REFERENCE. UTILITY			
•	LOCATIONS AND SIZES TO BE CONFIRMED WITH THE SITE PLAN TO MEET THE REQUIREMENTS OF THE UTILITY COMPANY. ELECTRIC AND TELEPHONE SERVICE TO BE PROVIDED PER UTILITY COMPANY			
9.	REQUIREMENTS. UTILITY AVAILABILITY: 18" EXISTING SANITARY SEWER AT AA HIGHWAY (KY HWY #9) AND EXISTING 12"		$\mathbf{N}_{\mathbf{N}}$	
10.	WATER MAIN ALONG US 27 (ALEXANDRIA PIKE). SOIL TYPES (PER USDA SOIL CONSERVATION SERVICE MAPS):		<u>`````````````````````````````````````</u>	
	EdD2 (ÈDEN SILTY CLAY LOAM, 12-20% SLOPES, ERODED) EdE2 (EDEN SILTY CLAY LOAM, 20-35% SLOPES, ERODED)		\setminus	
	FcC (FAYWOOD SILTY CLAY LOAM, 6-12% SLOPES) NIB (NICHOLSON SILT LOAM, 0-6% SLOPES)		N _.	
11. 12.	PARKING TO BE PROVIDED PER ARTICLE XI OF THE CITY OF COLD SPRING ZONING ORDINANCE. MUPD ZONE HC2 ZONE SEE ARCHITECTURAL BUILDING ELEVATIONS FOR BUILDING HEIGHTS.		Х.	
13.	SCHEDULE: THE FOLLOWING IS A TENTATIVE SCHEDULE SUBJECT TO CHANGE WITH MARKET DEMAND/CONDITIONS. START OF CONSTRUCTION TO FOLLOW UPON PERMIT APPROVALS AND WILL BE			\mathbf{X}
	PHASED. PHASE 1 - (BUILDINGS A-F, OUT PARCELS A-D) START CONSTRUCTION JANUARY 2024			\sum
_	PHASE 2 - (BUILDING G & PROFESSIONAL OFFICE) COMPLETION EXPECTED OCTOBER 2026			/ K.
GE	NERAL NOTES			
1.	ALL IMPROVEMENTS SHALL BE CONSTRUCTED PER THE SPECIFICATIONS OF THE FOLLOWING AGENCIES: <u>SANITARY SEWER - SANITATION DISTRICT No. 1</u> CONTACT - ANDY AMAN 1045 EATON DRIVE, FORT WRIGHT, KY 41017		<	
	STORMWATER - CITY OF COLD SPRING 5694 EAST ALEXANDRIA PIKE, COLD SPRING, KY 41076		\rightarrow /	\sim
	GAS & ELECTRIC - DUKE ENERGY 1262 COX ROAD, ERLANGER, KY 41018 www.duke-energy.com TELEPHONE SERVICE - ALTA FIBER 221 EAST 4TH STREET, CINCINNATI, OH 45202 www.altafiber.com		/	
			$ \frac{1}{1} $	
2.	www.nkywater.com ALL WORK TO BE DONE IN ACCORDANCE WITH THE LATEST EDITION OF THE CITY OF COLD SPRING SUBDIVISION		' //\ // \	
3.	REGULATIONS, SANITATION DISTRICT №. 1 RULES & REGULATIONS, AND KYTC SPECIFICATIONS. THE CITY OF COLD SPRING SHALL BE CONTACTED 48 HOURS IN ADVANCE OF WORK STARTING AT (859) 441-9604 FOR A			
4	PRE-CONSTRUCTION MEETING 48 HOURS PRIOR TO THE INSTALLATION OF THE WATER QUALITY FEATURE CONTRACTOR SHALL INSTALL EROSION CONTROL MEASURES PRIOR TO CONSTRUCTION. SITE CONTRACTOR SHALL			
	PROPERLY REMOVE DEBRIS AND SEDIMENT FROM BMPs AS THE PROJECT PROGRESSES.		//	\mathcal{N}
5.	SITE STABILIZATION SHALL BEGIN WITHIN 14 DAYS ON AREAS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE PERMANENTLY OR TEMPORARILY (FOR 21 DAYS OR MORE) CEASED.		/	
6.	PRIOR TO ANY EARTHWORK ACTIVITY, EROSION CONTROL DEVICES WILL BE INSTALLED. AN EROSION CONTROL PLAN WILL BE PROVIDED WITH THE SITE PLANS TO MEET THE REQUIREMENTS OF THE CITY OF COLD SPRING.			
7.	PROPOSED EROSION CONTROL MEASURES SHOWN ARE AS A MINIMUM. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ANY ADDITIONAL MEASURES AND/OR REVISING BMP'S AS DEEMED NECESSARY TO MINIMIZE EROSION &			
	SEDIMENTATION IN ACCORDANCE WITH THE "KENTUCKY BEST MANAGEMENT PRACTICES FOR CONSTRUCTION ACTIVITIES".			
8.	ALL BMP'S WILL BE INSPECTED AT A MINIMUM OF ONCE EVERY 7 DAYS AND AFTER EVERY 0.5" RAIN EVENT AND GREATER BY QUALIFIED PERSONNEL OF THE OWNER. THE INSPECTIONS SHALL ALSO BE DOCUMENTED IN A WRITTEN LOG			/
9.	ALL STORM SEWER AND STORM WATER DETENTION BASINS SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH THE CITY OF COLD SPRING SUBDIVISION REGULATIONS.			/
10.	THE CITY OF COLD SPRING WILL REQUIRE AN AS-BUILT SURVEY OF THE DETENTION BASIN TO VERIFY THAT ADEQUATE VOLUME IS PROVIDED AND THE DETENTION STRUCTURE IS BUILT PER THE APPROVED PLAN.			inf T
11.	DISCHARGE OF ROOF DOWNSPOUTS, FOOTING, FOUNDATION DRAINS, AND SUMP PUMPS MAY BE DISCHARGED DIRECTLY TO THE STORM SEWER SYSTEM PROVIDED THAT THEY ARE DIRECTED TO THE PROPOSED DETENTION BASIN.			
12.	ALL SANITARY SEWER SHALL BE PUBLIC AND MAINTAINED BY THE SANITATION DISTRICT #1. ALL CONSTRUCTION AND			FIT
13.	MATERIAL SHALL BE IN CONFORMANCE WITH THE "RULES AND REGULATION OF THE SANITATION DISTRICT #1". ALL WATERMAIN SHALL BE PUBLIC AS NOTED AND MAINTAINED BY "NORTHERN KENTUCKY WATER DISTRICT STANDARDS			
	AND SPECIFICATIONS FOR WATER MAIN CONSTRUCTION". THE DETENTION BASIN AND ASSOCIATED STRUCTURES ARE PRIVATE AND SHALL BE PROPERLY MAINTAINED BY THE			
	OWNER.			
	ALL PROPOSED INTERNAL UTILITIES SHALL BE UNDERGROUND. GRADING AND CLEARING LIMITS AND UTILITY LAYOUT SHOWN ARE APPROXIMATE AND SUBJECT TO REVISION BASED ON			
	COMPLETION OF SITE PLAN. THE LOCATION OF THE UNDERGROUND UTILITIES SHOWN ON THE PLAN HAVE BEEN OBTAINED BY FIELD CHECKS AND			
	SEARCHES OF AVAILABLE RECORDS AND DO NOT NECESSARILY REPRESENT ALL UNDERGROUND UTILITIES ADJACENT TO OR UPON THE PREMISES. THE ENGINEER DOES NOT GUARANTEE THEIR ACCURACY OR COMPLETENESS. THE			
	CONTRACTOR SHALL VERIFY LOCATIONS WITH UTILITY COMPANIES BEFORE MAKING EXCAVATIONS. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR VERIFYING ALL EXISTING UTILITY LOCATIONS WHETHER SHOWN ON THESE PLANS OR NOT.			
18.	THE PLANS PREPARED BY BAYER & BECKER, DO NOT EXTEND TO OR INCLUDE SYSTEMS PERTAINING TO THE SAFETY OF THE CONSTRUCTION CONTRACTOR OR ITS EMPLOYEES, AGENTS OR REPRESENTATIVES IN THE PERFORMANCE OF THE			
	WORK. THE SEAL OF BAYER & BECKER'S REGISTERED PROFESSIONAL ENGINEER HEREON DOES NOT EXTEND TO ANY SUCH SAFETY SYSTEMS THAT MAY NOW OR HEREAFTER BE INCORPORATED INTO THESE PLANS. THE CONSTRUCTION			
	CONTRACTOR SHALL PREPARE OR OBTAIN THE APPROPRIATE SAFETY SYSTEMS WHICH MAY BE REQUIRED BY U.S. OCCUPATIONAL SAFETY & HEALTH ADMINISTRATION (OSHA) AND/OR LOCAL REGULATIONS.			
	20' PROPOSED SANITARY SEWER EASEMENT TO BE PROVIDED FOR ALL SANITARY SEWER.			
	TORM WATER NOTES: 1. THE CITY OF COLD SPRING SHALL BE CONTACTED 48 HOURS IN ADVANCE OF WORK STARTING AT (859) 441-9604 FOR A			
	PRE-CONSTRUCTION MEETING 48 HOURS PRIOR TO THE INSTALLATION OF THE WATER QUALITY FEATURE. 2. SITE STABILIZATION SHALL BEGIN WITHIN 14 DAYS ON AREAS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE			
	PERMANENTLY OR TEMPORARILY CEASED FOR 21 DAYS OR MORE. 3. THE SITE AND EROSION CONTROL MEASURES WILL BE CHECKED AND DOCUMENTED AT LEAST ONCE ONCE EVERY 7 DAYS	AND	DATE COM	MMENT
	 THE SITE AND EROSION CONTROL MEASURES WILL BE CHECKED AND DOCUMENTED AT LEAST ONCE ONCE EVERY 7 DAYS WITHIN 24 HOURS AFTER A 0.5" OR GREATER RAIN EVENT. 			
	4. THE CONTRACTOR MAY BE REQUIRED TO REVISE AND/OR PROVIDE ADDITIONAL EROSION AND SEDIMENT CONTROL MEAS AS DEEMED NECESSARY TO MEET THE REQUIREMENTS OF THE CITY'S RULES AND REGULATIONS.	URES		
	5. THE DETENTION BASIN AND ASSOCIATED STRUCTURES ARE PRIVATE AND SHALL BE PROPERLY MAINTAINED BY THE OWN	ER.		
	6. SILT/SEDIMENTS SHOULD BE REMOVED FROM ALL SILT FENCES AND BASINS WHEN ACCUMULATION IS AT 1/3 OF THE HEIGH OF THE SILT FENCE OR $\frac{1}{3}$ OF THE DETENTION BASIN VOLUME.	ΗT		
	7. THE CITY OF COLD SPRING WILL REQUIRE AN AS-BUILT SURVEY OF THE DETENTION BASIN TO VERIFY THAT ADEQUATE			
-	VOLUME IS PROVIDED AND THE DETENTION STRUCTURE IS BUILT PER THE APPROVED PLAN			
	PARKING STALL DIMENSIONAL VARIANCE - REQUIRED 10' X 20', REQUEST 10' X 18'			
	HC-2 PROPOSED SETBACK REQUIREMENTS:			

FRONT YARD - 50' REQUIRED, 25' REQUESTED TO BE CONSISTENT WITH FRONT YARD SETBACK AS REQUESTED FOR THE MUPD ZONE

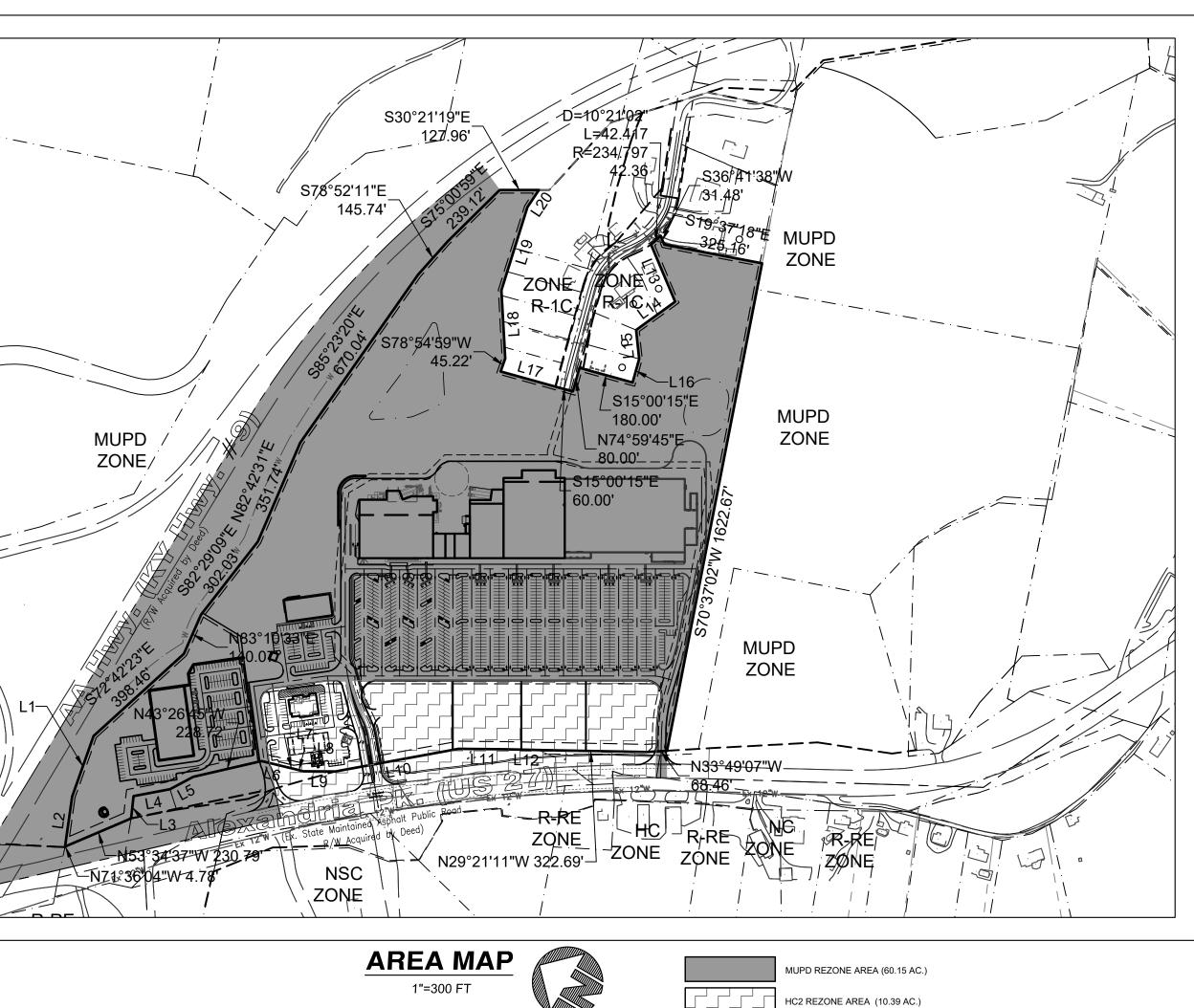
3. POSSIBLE GAS CANOPY WITHIN CURRENT 50' FRONT YARD SETBACK AT US27 (8.52' INSIDE THE 50' SETBACK REQUIRED PER THE HC-2 ZONE), IF

REAR YARD - 25' REQUIRED, 10' REQUESTED TO BE CONSISTENT WITH REAR YARD SETBACK AS REQUESTED FOR THE MUPD ZONE

HC-2 FRONT YARD VARIANCE OF 25' ABOVE IS APPROVED THEN A VARIANCE IS NOT REQUIRED.

SIDE YARD - NONE REQUIRED PER SECTION 10.16 C. 4.

D SPRING POINTE JE II DEVELOPMENT PLAN CITY OF COLD SPRING CAMPBELL COUNTY, KENTUCKY





SHEET	DRAWING TITLE	ISSUE DATE	REV. NO.	REV. DATE
C1.0	CIVIL TITLE SHEET	8-4-23		
C1.1	GENERAL NOTES	8-4-23		
C2.0	EXISTING BASEMAP & DEMO PLAN	8-4-23		
C3.0	OVERALL LAYOUT	8-4-23		
C3.1	DETAILED LAYOUT	8-4-23		
C3.2	DETAILED LAYOUT	8-4-23		
C3.3	DETAILED LAYOUT	8-4-23		
C4.0	OVERALL UTILITIES	8-4-23		
C4.1	DETAILED UTILITIES	8-4-23		
C4.2	DETAILED UTILITIES	8-4-23		
C4.3	DETAILED UTILITIES	8-4-23		
C5.0	UTILITY PROFILES	8-4-23		
C5.1	UTILITY PROFILES	8-4-23		
C5.2	UTILITY PROFILES	8-4-23		
C5.3	UTILITY PROFILES	8-4-23		
C6.0	OVERALL GRADING PLAN & SWPPP	8-4-23		
C6.1	DETAILED GRADING	8-4-23		
C6.2	DETAILED GRADING	8-4-23		
C6.3	DETAILED UTILITIES	8-4-23		
C7.0	STANDARD DETAILS	8-4-23		
C7.1	STORM DETAILS	8-4-23		
C7.2	WATER DETAILS	8-4-23		
C7.3	SANITARY DETAILS	8-4-23		
C8.0	EROSION CONTROL DETAILS	8-4-23		
C8.1	EROSION CONTROL DETAILS	8-4-23		
L1.0	TREE PROTECTION PLAN	8-4-23		
L2.0	OVERALL LANDSCAPE PLAN	8-4-23		
L2.1	DETAILED LANDSCAPE PLAN	8-4-23		
L2.2	DETAILED LANDSCAPE PLAN	8-4-23		
L2.3	DETAILED LANDSCAPE PLAN	8-4-23		
L2.4	LANDSCAPE PLAN SIGNAGE	8-4-23		
L3.0	SIGN DETAILS	8-4-23		
L4.0	LANDSCAPE NOTES & DETAILS	8-4-23		

DEVELOPE MIDLAND ATL 8044 MONTG CINCINNATI, 513-792-5000 jsilverman@m criney@midlan

ENGINEER BAYER BECK 209 GRANDVI FT. MITCHELL 859-415-1605 robkeller@bay

ARCHITECT FREEMAN MC 7229 FOREST RICHMOND, V

LOG



	Line L1 L2 L3 L4 L5 L6 L7 L8 L9 L10 L11 L12 L13 L14 L12 L13 L14 L15 L16 L17 L18 L14 L15 L16 L17	LINE TABL Direction N79°07'22"E N67°36'38"E S66°04'14"W N41°09'58"W N58°24'18"W N16°49'30"W N16°49'30"W N16°30'10"W N30°12'03"W	Dist. 210.09' 167.01' 73.23' 120.79' 86.29' 89.56' 21.54' 30.07' 104.12' 408.74' 154.03' 135.92' 203.08' 157.46' 94.89' 80.00' 185.10' 222.74' 284.56' 67.62'	YCOMPANIES	NOT ABBREVIATIO AC A.C.L. B/C BL CB DC DS E ELEV E/P EX FF FH F.Y. ICW IP INV LF MH MED MON MOFE MORE N PG PT R.Y R/W SAN SF SL STM S.Y. TBR T/GR T/RIM TYP VOL W WM WS WSC	ITY MAP TO SCALE TO SCALE TO SCALE N DESCRIPTION ACRES AGGREGATE CHANNE BACK OF CURB BUILDING LINE CATCH BASIN DEPRESSED CURB DOWNSPOUT EAST/EASTING FINISHED FLOOR FIRE HYDRANT FRONT YARD INTEGRAL CURB AND INTEGRAL CURB AND INTEGRAL CURB AND INTEGRAL CURB AND INTEGRAL CURB AND INTEGRAL CURB AND INTEGRAL CURB AND FINISHED FLOOR FIRE HYDRANT FRONT YARD INTEGRAL CURB AND INTEGRAL CURB AND INTEGRAL CURB AND INTEGRAL CURB AND INTEGRAL CURB AND FINISHED FLOOR FIRE HYDRANT FRONT YARD INTEGRAL CURB AND INTEGRAL AND INTEGRAL CURB AND INTEGRAL AND INTEGRAL CURB AND I	C WALK	PROUDLY MADE IN THE USA AND ARE INSTRUMENTS OF BIS PROFESSIONAL SERVICE, AND IS THE EXCLUSIVE PROPERTY OF BB. NO DISCLOSURE, USE, REPRODUCTION, OR DUPLICATION IN WHOLE, OR IN PART, MAY BE MADE WITHOUT WRITTEN PERMISSION OF BB, AND IS DONE SO AT USER'S SOLE RISK ILD SPRING POINTE ILD SPRING POINTE IDEVELOPMENT PLAN IDEVELOPMENT PLA	CITY OF COLD SPRING CAMPBELL COUNTY, KENTUCKY	
GO	NTIC P	ROPERTIES RD, SUITE 37(3	Gas Electric Telephone			(859) 534-4369 (859) 534-4369 (513) 397-9848 DRMATION S.F. ACRES 2,320,005 53.26 2,352,240 54.00 1,194,851 27.43		SHED BY BAYER BECKER (BB), ARE PROUDLY MADE I COLD S STAGE II DE	CIT	
) nic inc (E /IE L, 5 ye T : OI T	Ilandatla Iatlantic. SURV R W DRIV KY 410 rbecker.	ntic.com com EYOR: /E 17		conto public 859-	acted at leas c Sewer con -578—6749.	District No.1 must st 72 hours prior t struction, at THE LOCATION OF THE UN SHOWN HAVE BEEN OBTAIN AND INFORMATION PROVIDE CORRECT BUT THE PREPAG GUARANTEE THE ACCURACY THEREFORE, ALL UNDERGR BE FIELD LOCATED PRIOR FOR MORE INFORMATION U	NDERGROUND UTILITIES NED BY FIELD CHECKS ED BY FIELD CHECKS ED BY THE UTILITY 'ED THAT THEY ARE RER DOES NOT Y OR COMPLETENESS. ROUND UTILITIES SHALL TO CONSTRUCTION.	RELATED DETAIL DRAWINGS, SPECIFICATIONS, AND ELECTRONIC MEDIA PREPARED OR FURNIS information in the second determined of		Fort Mitchell, K

DEMOLITION NOTES:

- THE CITY OF COLD SPRING SHALL BE CONTACTED 48 HOURS IN ADVANCE OF WORK STARTING AT (859) 441-9604 FOR A PRE-CONSTRUCTION MEETING 48 HOURS PRIOR TO THE INSTALLATION OF THE WATER QUALITY FEATURE.
- SANITATION DISTRICT No. 1, JASON BURLAGE, IS TO BE CONTACTED 72 HOURS PRIOR TO ANY SANITARY SEWER ACTIVITY AT (859) 578-6892.
- SANITARY SEWER/LATERAL ABANDONMENT SHALL BE DONE BY A CERTIFIED TAPPER. SANITATION DISTRICT No. 1, TRACY WATSON AT 859-578-7460, IS TO BE CONTACTED AT LEAST 72 HOURS PRIOR TO WORK.
- REMOVAL AND/OR RELOCATION OF ANY UTILITIES SHALL BE COORDINATED WITH THE APPROPRIATE UTILITY COMPANY.
- ALL UTILITIES THAT ARE TO BE TERMINATED OR ABANDONED, INCLUDING BUT NOT LIMITED TO WATER, GAS, ELECTRIC, TELEPHONE, CABLE T.V., STORM AND SANITARY, ARE TO BE DISCONNECTED PER THE ASSOCIATED UTILITY AGENCY REQUIREMENTS. CONTRACTOR SHALL PROVIDE THE OWNER WITH WRITTEN STATEMENTS FROM UTILITY COMPANIES INDICATING THAT UTILITIES HAVE BEEN TURNED OFF, DISCONNECTED, OR DO NOT EXIST ON THE PROPERTY.
- THE CONTRACTOR IS SOLELY RESPONSIBLE FOR ANY DAMAGE TO EXISTING UTILITIES THAT ARE INTENDED TO CONTINUE TO PROVIDE SERVICE WHETHER SHOWN ON THE PLANS OR NOT.
- DAMAGE CAUSED TO STREETS, SIDEWALKS, OTHER STRUCTURES, AND ADJACENT AREAS CAUSED BY DEMOLITION OR HAULING OPERATIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL NOT BE AN EXPENSE TO THE OWNER.
- THE CONTRACTOR SHALL MAINTAIN ACCESS TO EXISTING AND NEIGHBORING USERS DURING THE DEMOLITION & CONSTRUCTION PROCESS DURING THEIR TIMES OF OPERATIONS.
- AS SOON AS DEMOLITION WORK HAS BEEN OTHERWISE COMPLETED AND APPROVED BY THE OWNER, EARTHWORK MAY BEGIN. THE FINAL GRADE IN AREAS OUTSIDE THE AREA OF CONSTRUCTION SHALL BE SUCH AS TO PRESENT A NEAT, WELL-DRAINED APPEARANCE, AND TO PREVENT WATER FROM DRAINING UNNECESSARILY ONTO ADJACENT PROPERTIES.
- 10. "ABANDON" ON THIS PLAN REFERS TO THE PLUGGING, SEALING, & GROUTING OF EXISTING UTILITY STRUCTURE AND/OR CONDUIT. THE SURROUNDING SOIL CONDITIONS & COMPACTION OF 8. THESE PLANS, AS PREPARED BY BAYER B ABANDONED ITEMS SHALL BE INSPECTED AND APPROVED BY THE PROJECT GEOTECHNICAL ENGINEER. EXISTING SANITARY, STORM AND COMBINED SEWERS TO BE ABANDONED SHALL BE FILLED, SEALED & ABANDONED IN ACCORDANCE TO LOCAL AND STATE SPECIFICATIONS, RULES AND REGULATIONS.
- 11. NO ATTEMPT IS MADE TO STIPULATE EVERY REQUIRED ITEM OF DEMOLITION EITHER ON DRAWINGS OR IN SPECIFICATIONS. THE CONTRACTOR SHALL VISIT AND STUDY PHYSICAL CONDITIONS AT SITE, REVIEW DRAWINGS, AND REACH CONCLUSIONS ON WORK NECESSARY TO ACCOMPLISH INTENDED RESULTS DESCRIBED BY DRAWINGS AND SPECIFICATIONS.
- 12. DEMOLITION INCLUDES, BUT IS NOT LIMITED TO, UTILITY DISCONNECTIONS AND REMOVAL OF EXISTING PIPING, DRAINAGE STRUCTURES, FENCING, POLES, CONCRETE, PAVEMENT, AND BUILDINGS AND STRUCTURES INDICATED ON DRAWINGS AND AS SPECIFIED.
- 13. BUILDINGS TO BE DEMOLISHED AND DISPOSED OF OFF-SITE. DEMOLITION IS TO INCLUDE REMOVAL OF THE ENTIRE STRUCTURE ABOVE AND BELOW GRADE INCLUSIVE OF THE FOOTINGS & FOUNDATIONS. FOOTING AND FOUNDATION AREAS SHALL BE BACKFILLED WITH COMPACTED STRUCTURAL FILL IN ACCORDANCE WITH THE GEOTECHNICAL REPORT AND WILL BE TESTED IN ACCORDANCE WITH PROCEDURES FOR TRENCH FILL.
- 14. ALL DEMOLITION DEBRIS SHALL BE DISPOSED OF OFF-SITE, PROPERLY AND PER ALL FEDERAL, STATE AND LOCAL RULES AND REGULATIONS.
- 15. THE CONTRACTOR IS RESPONSIBLE FOR SECURING PERMITS AND PAYING FEES REQUIRED BY UTILITY COMPANIES, LOCAL AND/OR STATE AUTHORITIES.
- 16. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ANY TESTING OR INSPECTIONS NECESSARY FOR THE DEMOLITION OF THE EXISTING BUILDINGS.
- 17. CONTACT STATE UTILITY UNDERGROUND LOCATION AGENCY A MINIMUM OF 48 HOURS BEFORE STARTING WORK.
- 18. CONTRACTOR TO PROVIDE ADEQUATE BARRICADES AT DRIVES, ENTRANCES, AND OTHER OPENINGS TO KEEP OUT UNAUTHORIZED PERSONS AND FOR PUBLIC SAFETY AND TRAFFIC CONTROL
- 19. CONTRACTOR SHALL PROVIDE ADEQUATE DUST CONTROL.
- 20. ALL TREES AND VEGETATION TO BE CLEARED SHALL BE REMOVED FROM THE SITE USING ACCEPTABLE MEANS AND METHODS AND SHALL FOLLOW PER ALL FEDERAL, STATE AND LOCAL RULES AND REGULATIONS.
- 21. FLOW LINES OF EXISTING STRUCTURES WITH PIPES TO BE ABANDONED SHALL BE RECONSTRUCTED TO PLUG & SEAL THE ABANDONED PIPE OPENING AND CONSTRUCT BENCH (MATCHING EXISTING BENCH) IN PLACE OF ABANDONED PIPE OPENING.
- 22. ALL STRUCTURES NOTED TO BE ADJUSTED TO GRADE SHALL MEET SD1'S SPECIFICATIONS (INCLUDING SECTION 3.2.7). IF STRUCTURES ARE INSTALLED ON SLOPES AND AN ADJUSTMENT IS NEEDED TO MATCH THE SLOPE/GRADE, CAST-IN-PLACE CONCRETE SHALL BE PLACED AND FORMED TO CONSTRUCT THE SLOPE NEEDED BETWEEN THE PRECAST SECTION AND THE TOP SLAB. BRICKS, BLOCKS, ETC. GROUTED IN PLACE TO CONSTRUCT THE SLOPE WILL NOT BE PERMITTED.
- 23. IF EXISTING UTILITY SERVICES WILL BE USED FOR PROPOSED IMPROVEMENTS OR ARE TO REMAIN WITHIN THE LIMITS OF THE PROPOSED IMPROVEMENTS THE CONTRACTOR IS TO VIDEO AND/OR FIELD VERIFY THE CONDITION BEFORE CONSTRUCTION AND VERIFY AFTER CONSTRUCTION THAT THE EXISTING UTILITIES ARE FUNCTIONING AND IN THE SAME OR BETTER CONDITION THAN PRIOR TO CONSTRUCTION.

Table 1. Percent compaction and moisture-conditioning requirements for fill and backfill.

Area	Minimum Percent Compaction ^{a,b}	Acceptable Moisture Content Range ^c -2% to +3% of OMC	
Structural ≤ 20 feet below proposed grades ^d	98% of SPMDD		
Structural > 20 feet below proposed grades ^d	95% of MPMDD	-2% to +3% of OMC	
Non-structural	95% of SPMDD	±3% of OMC	
Floor slab subgrade	98% of SPMDD	0% to +3% of OMC	
Pavement subgrade ≤ 12 inches below subgrade	100% of SPMDD	0% to +2% of OMC	

SPMDD = standard Proctor maximum dry density determined from ASTM D698. MPMDD = modified Proctor maximum dry density determined from ASTM D1557.

^b For granular soils that do not exhibit a well-defined moisture-density relationship, refer to Table 5 for minimum relative density requirements.

OMC = optimum moisture content determined from ASTM D698 or ASTM D1557.

^d Structural fill and backfill for foundations are defined as fill and backfill located within the zones of influence of existing and proposed structures. The zone of influence of a structure is defined as the area below the footprint of the structure and 2H:1V downward and outward projections from the bearing elevation of the structure.

GENERAL CONSTRUCTION NOTES:

- SANITATION DISTRICT No. 1, JASON BURLA HOURS PRIOR TO ANY SANITARY SEWER A
- 2. CONTRACTOR TO OBTAIN AN ENCROACHIN COLD SPRING/OR THE KENTUCKY TRANSP WORK WITHIN THE RIGHT-OF-WAY.
- ALL WORK TO BE DONE IN ACCORDANCE \ THE CITY OF COLD SPRING SUBDIVISION F DISTRICT No. 1 RULES & REGULATIONS, AN TRANSPORTATION CABINET SPECIFICATIO
- 4. CONTRACTOR SHALL INSTALL EROSION C CONSTRUCTION. SITE CONTRACTOR SHA AND SEDIMENT FROM BMP's AS THE PROJE
- CONTRACTOR TO VERIFY ALL QUANTITIES VOLUMES WITH OWNER PRIOR TO COMME
- UNDERGROUND PIPES AND CONDUITS AR STRUCTURE OR FROM FIELD MARKINGS O APPLICABLE. EXACT LOCATION OF UNDER CANNOT BE DETERMINED WITHOUT EXCA EXPOSING THEM.
- 7. THE LOCATION OF THE UNDERGROUND U HAVE BEEN OBTAINED BY FIELD CHECKS A RECORDS AND DO NOT NECESSARILY REF UTILITIES ADJACENT TO OR UPON THE PR NOT GUARANTEE THEIR ACCURACY OR CO CONTRACTOR SHALL VERIFY LOCATIONS BEFORE MAKING EXCAVATIONS. THE CON RESPONSIBLE FOR VERIFYING ALL EXISTIN SHOWN ON THESE PLANS OR NOT.
- INCLUDE SYSTEMS PERTAINING TO THE SA DEMOLITION/CONSTRUCTION CONTRACTO OR REPRESENTATIVES IN THE PERFORMA OF BAYER BECKER'S REGISTERED PROFE EXTEND TO ANY SUCH SAFETY SYSTEMS BE INCORPORATED INTO THESE PLANS. PREPARE OR OBTAIN THE APPROPRIATE S REQUIRED BY U.S. OCCUPATIONAL SAFET (OSHA) AND/OR LOCAL REGULATIONS.
- ALL CONTRACTORS INCLUDING BUT NOT L EXCAVATION, PAVING, PLUMBING, ELECTR HVAC CONTRACTORS SHALL BE UNDER TH CONTRACTOR OR OWNER WHO WILL BE HI COORDINATION OF ALL WORK ON THIS PRO EXECUTION OF THE SAME.

SITE PLAN NOTES:

- 1. PARKING LOT DIMENSIONS ARE TO FACE (SPECIFIED.
- 2. HANDICAP CURB RAMPS SHALL MEET ALL
- 3. SAWCUT EXISTING PAVEMENT TO CREATE PAVEMENT OR ALONG PROPOSED CURBS IF REPLACEMENT OF EXISTING PAVEMENT MINIMUM 2' WIDTH PAVEMENT TO PROVIDE
- BUILDING FOOTPRINT SHOWN IS APPROXI PLANS FOR ADDITIONAL INFORMATION.
- 5. PARKING SPACE MARKINGS TO BE 4" WIDE
- 6. ALL RADII ARE 5' TO THE FACE OF CURB U
- 7. ALL HANDICAP SPACES TO HAVE TYPICAL ARCHITECTURAL PLANS.
- ALL LIGHT POLES LOCATED WITHIN PARKI BEHIND THE BACK OF CURB OR PROTECTE PAVEMENT AREA.

PROPOSED STORM SEWER LEGEND

DuroMaxx = STEEL REINFORCED THERMOPLASTIC

RCP = REINFORCED CONCRETE PIPE, CLASS IV (n=0.012 OR LESS)

PVC = POLYVINYL CHLORIDE TYPE B PIPE. (n=0.009 OR LESS)

ADS="ADVANCED DRAINAGE SYTEMS" OR APPROVED EQUAL.

HDPE = HIGH DENSITY POLYETHYLENE PIPE (HDPE) CORRUGATED SMOOTH LINED PIPE, (n=0.012 OR LESS)

ULTRA = ALUMINIZED STEEL TYPE II ULTRA-FLO PIPE. (n=0.012 OR LESS)

STM = HDPE or PVC or ULTRA-FLO PIPE. (n=0.012 OR LESS)

ALL MATERIALS SHALL MEET MANUFACTURER'S SPECIFICATIONS FOR WALL THICKNESS (GAGE) BASED ON COVER AND SURCHARGE.

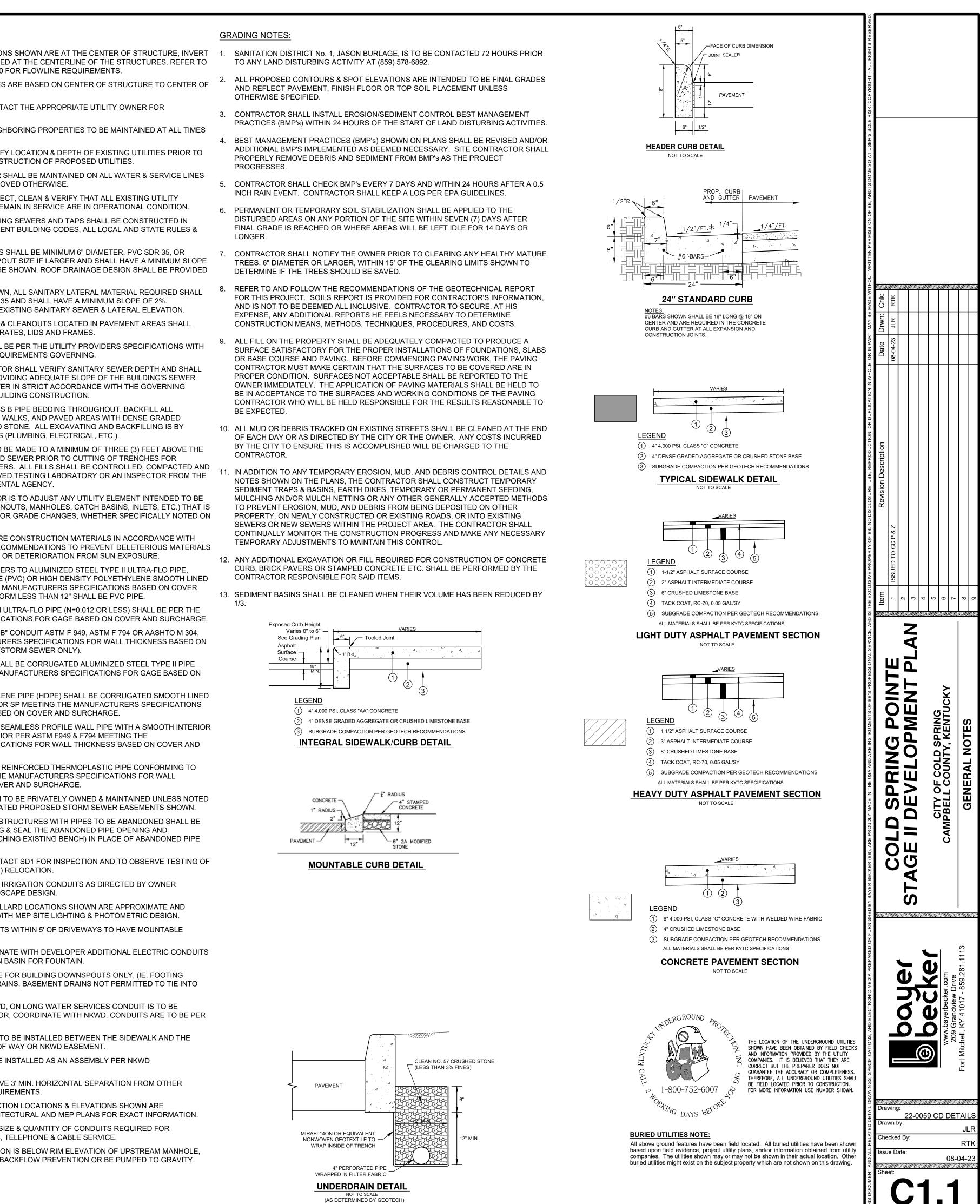
	UT	ILITY NOTES:
AGE, IS TO BE CONTACTED 72 ACTIVITY AT (859) 578-6892.	1.	
MENT PERMIT FROM THE CITY OF PORTATION CABINET FOR ALL	2.	PIPE LENGTHS AND SLOPES STRUCTURE LENGTHS.
WITH THE LATEST EDITION OF	3.	CONTRACTOR SHALL CONT INSPECTIONS.
REGULATIONS, SANITATION ND THE STATE OF KENTUCKY ONS.	4.	UTILITY SERVICES TO NEIGI DURING CONSTRUCTION.
CONTROL MEASURES PRIOR TO ALL PROPERLY REMOVE DEBRIS	5.	CONTRACTOR SHALL VERIF COMMENCEMENT OF CONS
JECT PROGRESSES.	5.	A MINIMUM OF 3'-0" COVER UNLESS NOTED AND APPRO
S INCLUDING EARTHWORK ENCEMENT OF WORK.	6.	CONTRACTOR SHALL INSPE SERVICES THAT ARE TO RE
RE PLOTTED FROM STRUCTURE TO DR UTILITY PLANS WHERE RGROUND IMPROVEMENTS	7.	STORM & SANITARY BUILDIN ACCORDANCE WITH CURRE REGULATIONS.
VATING AND COMPLETELY	8.	DOWNSPOUT COLLECTORS MATCH BUILDING DOWNSPO OF 2%, UNLESS OTHERWISE BY M.E.P.
AND SEARCHES OF AVAILABLE PRESENT ALL UNDERGROUND REMISES. THE ENGINEER DOES OMPLETENESS. THE	9.	UNLESS OTHERWISE SHOW BE 6" DIAMETER, PVC SDR 3 CONTRACTOR TO VERIFY E
WITH UTILITY COMPANIES NTRACTOR IS SOLELY NG UTILITY LOCATIONS WHETHER	10.	ALL UTILITY STRUCTURES & HAVE TRAFFIC BEARING GR
	11. UTILITY CROSSING THE MORE STRING	UTILITY CROSSINGS SHALL THE MORE STRINGENT REC
BECKER, DO NOT EXTEND TO OR BAFETY OF THE OR OR ITS EMPLOYEES, AGENTS ANCE OF THE WORK. THE SEAL ESSIONAL HEREON DOES NOT	12.	THE PLUMBING CONTRACTOR BE RESPONSIBLE FOR PRO TOWARD THE PUBLIC SEWE AUTHORITIES PRIOR TO BU
THAT MAY NOW OR HEREAFTER THE CONTRACTOR SHALL SAFETY SYSTEMS WHICH MAY BE TY & HEALTH ADMINISTRATION	13.	PROVIDE GRANULAR CLASS TRENCHES UNDER SLABS, V AGGREGATE OR CRUSHED INDIVIDUAL CONTRACTORS
LIMITED TO THE CLEARING, RICAL, SIGN, FIRE PROTECTION, HE DIRECTION OF THE GENERAL IELD RESPONSIBLE FOR THE	14.	COMPACTED FILLS ARE TO CROWN OF ANY PROPOSED PLACEMENT OF SAID SEWE INSPECTED BY AN APPROVE APPROPRIATE GOVERNMEN
ROJECT AND THE PROPER	15. EACH UTIL FLUSH WIT AFFECTED	EACH UTILITY CONTRACTOR FLUSH WITH GRADE (CLEAN AFFECTED BY SITE WORK C PLANS OR NOT.
OF CURB UNLESS OTHERWISE	16.	CONTRACTOR SHALL STOR THE MANUFACTURER'S REC FROM BECOMING AFFIXED
LOCAL AND ADA REQUIREMENTS. E BUTT JOINT ALONG EXISTING THAT ABUT EXISTING PAVEMENT. T IS REQUIRED, REPLACE	17.	STM SHOWN ON PLAN REFE POLYVINYL CHLORIDE PIPE PIPE (HDPE) MEETING THE M AND SURCHARGE. ANY STC
E FOR PROPER COMPACTION.	18.	ALUMINIZED STEEL TYPE II MANUFACTURERS SPECIFIC
E WHITE PAINTED STRIPES.	19.	PVC PIPE SHALL BE TYPE "E MEETING THE MANUFACTUR COVER AND SURCHARGE (S
JNLESS OTHERWISE NOTED.	20.	CASP SHOWN ON PLAN SHA (N=0.024), MEETING THE MA
. HANDICAP SIGN. SEE	21.	COVER AND SURCHARGE. HIGH DENSITY POLYETHYLE PIPE, ASTM M 294 TYPE S O
ING AREA TO BE SET A MINIMUM 3' ED BY 4 BOLLARDS IF IN	22.	FOR WALL THICKNESS BASE A2000 PVC PIPE SHALL BE S AND CORRUGATED EXTERIO MANUFACTURERS SPECIFIC SURCHARGE. (N=0.009)
	~~	

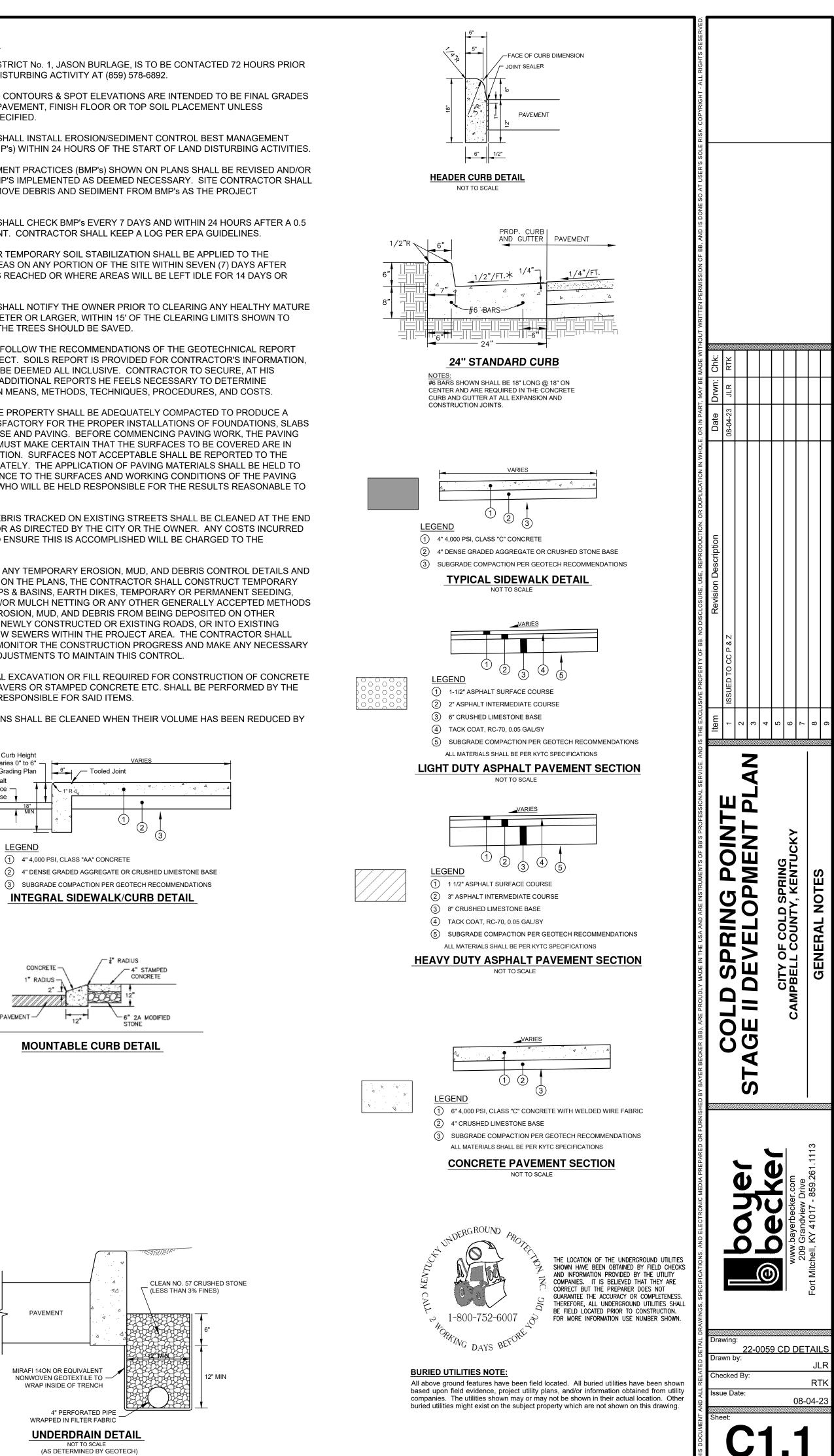
RIBBED PIPE per ODOT SS938. (n=0.012)

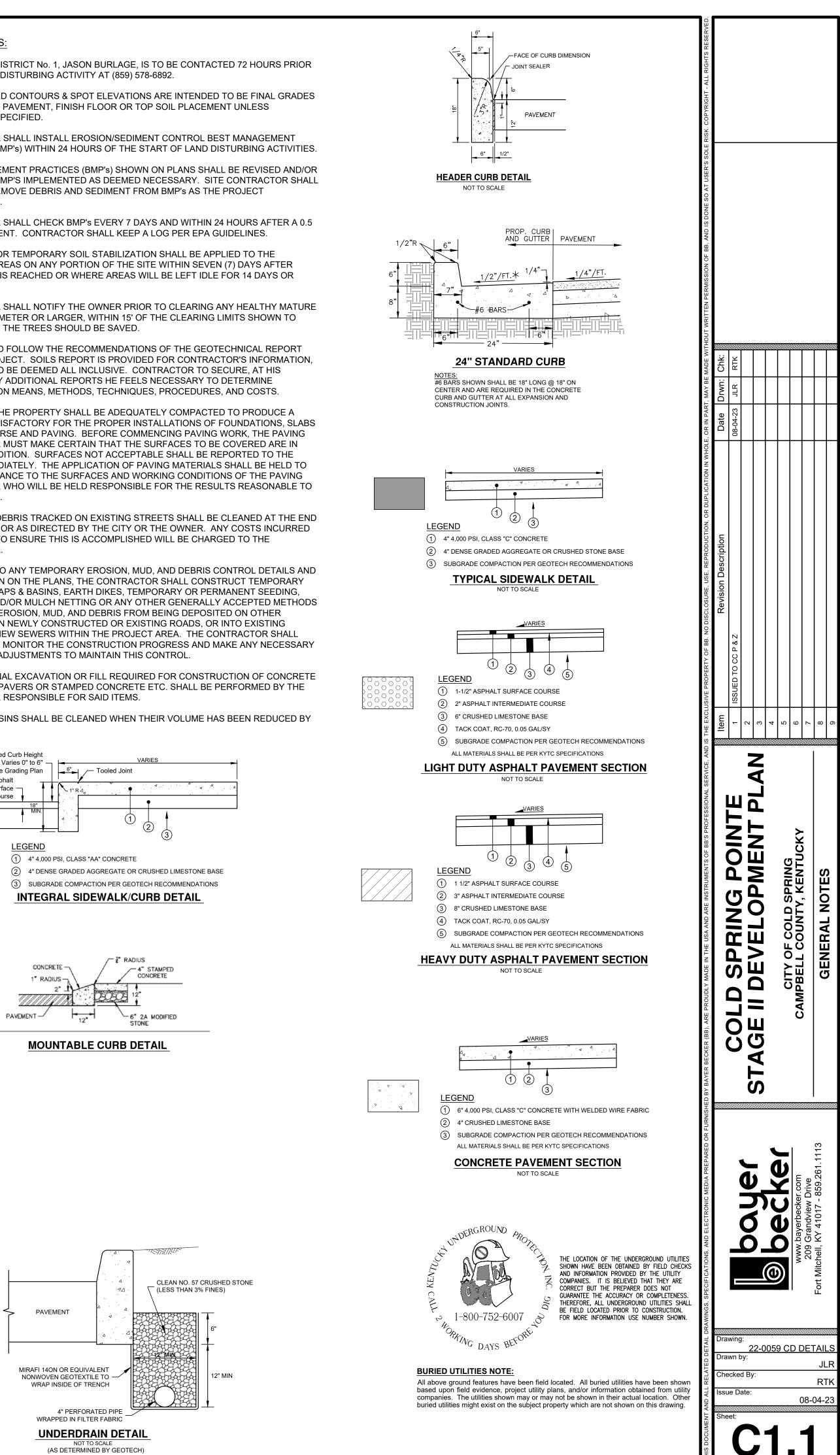
- RED AT THE CENTERLINE OF THE STRUCTURES. REFER TO 0 FOR FLOWLINE REQUIREMENTS. ES ARE BASED ON CENTER OF STRUCTURE TO CENTER OF
- TACT THE APPROPRIATE UTILITY OWNER FOR
- SHBORING PROPERTIES TO BE MAINTAINED AT ALL TIMES
- FY LOCATION & DEPTH OF EXISTING UTILITIES PRIOR TO STRUCTION OF PROPOSED UTILITIES.
- SHALL BE MAINTAINED ON ALL WATER & SERVICE LINES ROVED OTHERWISE.
- ECT, CLEAN & VERIFY THAT ALL EXISTING UTILITY EMAIN IN SERVICE ARE IN OPERATIONAL CONDITION.
- ING SEWERS AND TAPS SHALL BE CONSTRUCTED IN RENT BUILDING CODES, ALL LOCAL AND STATE RULES &
- S SHALL BE MINIMUM 6" DIAMETER, PVC SDR 35, OR POUT SIZE IF LARGER AND SHALL HAVE A MINIMUM SLOPE SE SHOWN. ROOF DRAINAGE DESIGN SHALL BE PROVIDED
- WN, ALL SANITARY LATERAL MATERIAL REQUIRED SHALL R 35 AND SHALL HAVE A MINIMUM SLOPE OF 2%. EXISTING SANITARY SEWER & LATERAL ELEVATION.
- & CLEANOUTS LOCATED IN PAVEMENT AREAS SHALL RATES, LIDS AND FRAMES.
- BE PER THE UTILITY PROVIDERS SPECIFICATIONS WITH QUIREMENTS GOVERNING.
- OR SHALL VERIFY SANITARY SEWER DEPTH AND SHALL OVIDING ADEQUATE SLOPE OF THE BUILDING'S SEWER VER IN STRICT ACCORDANCE WITH THE GOVERNING UILDING CONSTRUCTION.
- SS B PIPE BEDDING THROUGHOUT. BACKFILL ALL WALKS, AND PAVED AREAS WITH DENSE GRADED D STONE. ALL EXCAVATING AND BACKFILLING IS BY S (PLUMBING, ELECTRICAL, ETC.).
- BE MADE TO A MINIMUM OF THREE (3) FEET ABOVE THE ED SEWER PRIOR TO CUTTING OF TRENCHES FOR ERS. ALL FILLS SHALL BE CONTROLLED, COMPACTED AND VED TESTING LABORATORY OR AN INSPECTOR FROM THE ENTAL AGENCY.
- OR IS TO ADJUST ANY UTILITY ELEMENT INTENDED TO BE NOUTS, MANHOLES, CATCH BASINS, INLETS, ETC.) THAT IS OR GRADE CHANGES, WHETHER SPECIFICALLY NOTED ON
- RE CONSTRUCTION MATERIALS IN ACCORDANCE WITH ECOMMENDATIONS TO PREVENT DELETERIOUS MATERIALS OR DETERIORATION FROM SUN EXPOSURE.
- ERS TO ALUMINIZED STEEL TYPE II ULTRA-FLO PIPE, E (PVC) OR HIGH DENSITY POLYETHYLENE SMOOTH LINED MANUFACTURERS SPECIFICATIONS BASED ON COVER ORM LESS THAN 12" SHALL BE PVC PIPE.
- ULTRA-FLO PIPE (N=0.012 OR LESS) SHALL BE PER THE ICATIONS FOR GAGE BASED ON COVER AND SURCHARGE.
- "B" CONDUIT ASTM F 949. ASTM F 794 OR AASHTO M 304. IRERS SPECIFICATIONS FOR WALL THICKNESS BASED ON (STORM SEWER ONLY).
- IALL BE CORRUGATED ALUMINIZED STEEL TYPE II PIPE ANUFACTURERS SPECIFICATIONS FOR GAGE BASED ON
- LENE PIPE (HDPE) SHALL BE CORRUGATED SMOOTH LINED OR SP MEETING THE MANUFACTURERS SPECIFICATIONS SED ON COVER AND SURCHARGE.
- SEAMLESS PROFILE WALL PIPE WITH A SMOOTH INTERIOR RIOR PER ASTM F949 & F794 MEETING THE FICATIONS FOR WALL THICKNESS BASED ON COVER AND
- 23. DuroMaxx SHALL BE STEEL REINFORCED THERMOPLASTIC PIPE CONFORMING TO ASTM F2562 & MEETING THE MANUFACTURERS SPECIFICATIONS FOR WALL THICKNESS BASED ON COVER AND SURCHARGE.
- 24. STORM SEWER AS SHOWN TO BE PRIVATELY OWNED & MAINTAINED UNLESS NOTED AS "PUBLIC" WITH ASSOCIATED PROPOSED STORM SEWER EASEMENTS SHOWN.
- 25. FLOW LINES OF EXISTING STRUCTURES WITH PIPES TO BE ABANDONED SHALL BE RECONSTRUCTED TO PLUG & SEAL THE ABANDONED PIPE OPENING AND CONSTRUCT BENCH (MATCHING EXISTING BENCH) IN PLACE OF ABANDONED PIPE OPENING.
- 26. CONTRACTOR SHALL CONTACT SD1 FOR INSPECTION AND TO OBSERVE TESTING OF SANITARY SEWER (PUBLIC) RELOCATION.
- 27. CONTRACTOR TO INSTALL IRRIGATION CONDUITS AS DIRECTED BY OWNER DIRECTION AND PER LANDSCAPE DESIGN.
- 28. NOTE LIGHT POLE AND BOLLARD LOCATIONS SHOWN ARE APPROXIMATE AND SHOULD BE CONFIRMED WITH MEP SITE LIGHTING & PHOTOMETRIC DESIGN.
- 29. ALL DOUBLE GUTTER INLETS WITHIN 5' OF DRIVEWAYS TO HAVE MOUNTABLE GRATES
- 30. CONTRACTOR TO COORDINATE WITH DEVELOPER ADDITIONAL ELECTRIC CONDUITS TO PROPOSED RETENTION BASIN FOR FOUNTAIN.
- 31. DOWNSPOUT STUBS TO BE FOR BUILDING DOWNSPOUTS ONLY, (IE. FOOTING DRAINS, FOUNDATIONS DRAINS, BASEMENT DRAINS NOT PERMITTED TO TIE INTO STORM SEWER)
- 32. WATER SERVICES BY NKWD, ON LONG WATER SERVICES CONDUIT IS TO BE INSTALLED BY CONTRACTOR, COORDINATE WITH NKWD. CONDUITS ARE TO BE PER NKWD REQUIREMENTS.
- 33. WATER SERVICE METERS TO BE INSTALLED BETWEEN THE SIDEWALK AND THE CURB WITHIN THE RIGHT OF WAY OR NKWD EASEMENT.
- 34. ALL FIRE HYDRANTS TO BE INSTALLED AS AN ASSEMBLY PER NKWD REQUIREMENTS.
- 35. NKWD WATER MAIN TO HAVE 3' MIN. HORIZONTAL SEPARATION FROM OTHER UTILITIES PER NKWD REQUIREMENTS.
- 36. UTILITY/BUILDING CONNECTION LOCATIONS & ELEVATIONS SHOWN ARE APPROXIMATE, SEE ARCHITECTURAL AND MEP PLANS FOR EXACT INFORMATION. 37. CONTRACTOR TO VERIFY SIZE & QUANTITY OF CONDUITS REQUIRED FOR
- UNDERGROUND ELECTRIC, TELEPHONE & CABLE SERVICE. 38. IF LOWEST LEVEL ELEVATION IS BELOW RIM ELEVATION OF UPSTREAM MANHOLE, THEN TAP MUST INCLUDE BACKFLOW PREVENTION OR BE PUMPED TO GRAVITY.

GRADING NOTES:

- TO ANY LAND DISTURBING ACTIVITY AT (859) 578-6892.
- OTHERWISE SPECIFIED.
- PROGRESSES.
- LONGER.
- DETERMINE IF THE TREES SHOULD BE SAVED.
- BE EXPECTED.
- CONTRACTOR.
- TEMPORARY ADJUSTMENTS TO MAINTAIN THIS CONTROL.
- CONTRACTOR RESPONSIBLE FOR SAID ITEMS.







DEMOLITION NOTES:

- 1. ALL RIGHT-OF-WAY WITHIN THE PROPERTY BOUNDARY SHALL BE VACATED. 2. REMOVAL AND/OR RELOCATION OF ANY UTILITIES SHALL BE COORDINATED WITH THE
- APPROPRIATE UTILITY COMPANY. 3. ALL UTILITIES THAT ARE TO BE TERMINATED OR ABANDONED, INCLUDING BUT NOT LIMITED TO WATER, GAS, ELECTRIC, TELEPHONE, CABLE T.V., STORM AND
- SANITARY, ARE TO BE DISCONNECTED PER THE ASSOCIATED UTILITY AGENCY REQUIREMENTS. CONTRACTOR SHALL PROVIDE THE OWNER WITH WRITTEN STATEMENTS FROM UTILITY COMPANIES INDICATING THAT UTILITIES HAVE BEEN TURNED OFF, DISCONNECTED, OR DO NOT EXIST ON THE PROPERTY.
- 4. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR ANY DAMAGE TO EXISTING UTILITIES THAT ARE INTENDED TO CONTINUE TO PROVIDE SERVICE WHETHER SHOWN ON THE PLANS OR NOT.
- 5. DAMAGE CAUSED TO STREETS, SIDEWALKS, OTHER STRUCTURES, AND ADJACENT AREAS CAUSED BY DEMOLITION OR HAULING OPERATIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL NOT BE AN EXPENSE TO THE OWNER.
- 6. THE CONTRACTOR SHALL MAINTAIN ACCESS TO EXISTING AND NEIGHBORING USERS DURING THE CONSTRUCTION PROCESS DURING THEIR TIMES OF OPERATIONS.
- 7. AS SOON AS DEMOLITION WORK HAS BEEN OTHERWISE COMPLETED AND APPROVED BY THE OWNER, EARTHWORK MAY BEGIN. THE FINAL GRADE IN AREAS OUTSIDE THE AREA OF CONSTRUCTION SHALL BE SUCH AS TO PRESENT A NEAT, WELL-DRAINED APPEARANCE, AND TO PREVENT WATER FROM DRAINING UNNECESSARILY ONTO ADJACENT PROPERTIES.
- "ABANDON" ON THIS PLAN REFERS TO THE PLUGGING, SEALING, & GROUTING OF EXISTING UTILITY STRUCTURE AND/OR CONDUIT. THE SURROUNDING SOIL CONDITIONS & COMPACTION OF ABANDONED ITEMS SHALL BE INSPECTED AND APPROVED BY THE PROJECT GEOTECHNICAL ENGINEER. EXISTING SANITARY, STORM AND COMBINED SEWERS TO BE ABANDONED SHALL BE FILLED, SEALED & ABANDONED IN ACCORDANCE TO LOCAL AND STATE SPECIFICATIONS, RULES AND REGULATIONS. REMOVAL OF PORTIONS OF THE EXISTING STRUCTURE AND/OR CONDUIT MAY BE NECESSARY TO CONSTRUCT THE PROPOSED IMPROVEMENTS.

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120.79

171°36'04"

- . NO ATTEMPT IS MADE TO STIPULATE EVERY REQUIRED ITEM OF DEMOLITION EITHER ON DRAWINGS OR IN SPECIFICATIONS. THE CONTRACTOR SHALL VISIT AND STUDY PHYSICAL CONDITIONS AT SITE, REVIEW DRAWINGS, AND REACH CONCLUSIONS ON WORK NECESSARY TO ACCOMPLISH INTENDED RESULTS DESCRIBED BY DRAWINGS AND SPECIFICATIONS.
- 10. DEMOLITION INCLUDES, BUT IS NOT LIMITED TO, UTILITY DISCONNECTIONS AND REMOVAL OF EXISTING WIRING, PIPING, DRAINAGE STRUCTURES, FENCING, POLES, CONCRETE, PAVEMENT, AND BUILDINGS AND STRUCTURES INDICATED ON DRAWINGS AND AS SPECIFIED.
- 11. ALL DEMOLITION DEBRIS SHALL BE DISPOSED OF OFF-SITE, PROPERLY AND PER ALL RULES AND REGULATIONS OF THE JURISDICTION HAVING AUTHORITY.
- 12. THE CONTRACTOR IS RESPONSIBLE FOR SECURING PERMITS AND PAYING FEES REQUIRED BY UTILITY COMPANIES, LOCAL AND/OR STATE AUTHORITIES.
- 13. CONTACT STATE UTILITY UNDERGROUND LOCATION AGENCY (1-800-362-2764) A MINIMUM OF 48 HOURS BEFORE STARTING WORK.
- 14. REMOVE MEANS TO REMOVE OR ABANDON PROPERLY AS PER THE SPECIFICATIONS OF THE UTILITY OWNER.
- 15. COORDINATE ALL WORK IN THE RIGHT-OF-WAY WITH KYTC.

#### SAFETY ADVISORY NOTES:

. Protection of Persons and Property: Provide all necessary barriers, warning lights, signage, flagman, and other measures as required to maintain public safety as designated on the plans, directed by the Owner, and as recommended by other authorities having jurisdiction.

#### PROHIBITED CONSTRUCTION ACTIVITIES:

Indiscriminate or arbitrary operation of equipment in any stream corridors, any surface water, or outside the clearing limits is prohibited. 2. Pumping of sediment-laden water from trenches or other excavation directly into any surface waters, any stream corridors, or storm sewers is prohibited; all such water shall be properly filtered or settled to remove silt prior to discharging into any drain or watercourse.

#### ENVIRONMENTAL IMPACT PREVENTATIVE AND MITIGATIVE MEASURES: 1. The Contractor shall give special attention to protection of streams and riparian areas. The resident project representative will periodically and routinely verify that the appropriate measures are being followed. Areas of construction in and around stream banks and other areas subject to erosion are a particular concern. Contractor is advised to use special care within such areas to protect natural

features and to provide careful restoration. 2. Clearing and grubbing shall not commence until the Contractor is prepared to start construction, and erosion control measures are installed and in place. Contractor shall be responsible to dispose of all stumps, brush, debris, and trees in a legal and environmentally sound manner. Items shall be removed only as directed by the Owner or Engineer.

#### **PROTECTION OF TREES:**

. The Contractor shall avoid any unnecessary damages to trees, clear-cutting is not permitted within temporary construction limit or easement areas without the prior approval of the Owner and Engineer; this includes work and staging areas obtained by the Contractor by means of private agreement with property owners. Tree branches which overhang the construction limits and which interfere with the operation of equipment shall be tied back to avoid damage. Where injury to branches is unavoidable, the branches shall be sawed off neatly at the trunk or main branch and the cut area shall be painted with approved tree paint immediately. Any trees damaged beyond saving shall be removed by Contractor at his own expense. In the case of trees located outside the construction limit area, restitution acceptable to the property owner shall be provided by the Contractor.



| LEGE                          | END                         |
|-------------------------------|-----------------------------|
| ⊚ −Ex Sanitary M.H.           | ⑦ −Ex Tele. M.H.            |
| © −Ex Sanitary Clean Out      | 🗉 -Ex Tele. Box             |
| ⊚ −Ex Storm M.H.              | © -Ex Cable Box             |
| ☑ -Ex Storm Catch Basin       | ∸ −Ex Sign                  |
| ⌀ –Ex Storm Yard Drain        | ∘ -Ex Post                  |
| ● -Ex Storm Down Spout        | ⊙ —Ex Bollard               |
| -Ex Fire Hydrant              | 🛞 –Ex Deciduous Tree        |
| 🙆 -Ex Fire Connection         | ↔ -Ex Evergreen Tree        |
| ₩V<br>⋈ —Ex Water Valve       | ⊙ -Ex Deciduous Bush        |
| ⊠ -Ex Water Meter             | ⊚ −Ex Evergreen Bush        |
| imes -Ex Gas Valve            | <b>R∕W</b> −Ex Right of Way |
| ⊠ -Ex Gas Meter               | P/L-Ex Property Line        |
| € -Ex Elec. M.H.              | ా –Ex Utility Pole          |
| E −Ex Elec. Box               | $^{\psi}$ –Ex Guy Wire      |
| ☆ -Ex Light Pole              | IAC −Ex Air Conditioning    |
| Ex Undergroun                 | ww<br>d Water Main<br>g     |
| Ex Undergroui                 | nd Gas Main                 |
| —— он —<br>Ex Overhea         | d Utilities                 |
| Ex Undergrou                  | und Electric                |
| Ex Undergrour                 |                             |
| — x — — x — — x — — x — Ex Fe |                             |
| Ex Landsca                    | pe Border                   |
| Ex Tre                        | eeline                      |
| Ex Major                      |                             |
| Ex Minor                      |                             |

#### EXISTING UTILITIES:

1. The Contractor shall verify the locations and elevations of all existing utilities prior to construction. The locations and elevations of existing utilities, as indicated on the drawings, are for informational purposes only. No responsibility is assumed for the accuracy or completeness of this information. All utilities must be marked and their horizontal and vertical location field verified by the Contractor prior to starting construction. The Contractor shall not cut or disconnect any existing utilities without prior approval from the appropriate agency. 2. Existing underground utilities and services are shown in their approximate locations according to known information available. The locations shown are intended only as guide and cannot be guaranteed to be accurate or complete. During construction the contractor shall protect from damage all existing utilities, whether shown on the contract drawings or not. If damage is caused, the contractor shall be responsible for the repair or restoration of same to the satisfaction of the Owner or Utility Owner at the contractor's sole expense. Electric service, gas service, water service, telephone and cable service, and other utility lines may be located in the proximity of the work area. The Contractor shall be

- responsible for: • a. Contacting the individual utility owners ten (10) days prior to construction and advising them of the work to take place.
- b. Soliciting their aid in locating and protecting or relocating any utility that may interfere with construction.
- c. Test pitting and verifying the horizontal and vertical location for each utility in the project vicinity before starting construction.
- d. All damage to any existing utility, and repair thereof. e. Contacting the Kentucky Underground Protection Inc. (KUPI
- 1-800-752-6007) 48 hours minimum prior to construction.
- f. Contractor shall perform all work necessary to restore all existing utilities whether shown or not, encountered or disturbed during construction to before construction conditions or better, as acceptable to the utility owner. 3. Where potential elevation conflicts may occur with existing utilities, the

Contractor shall uncover such utilities sufficiently in advance of construction in order that exact elevations may be determined and the necessary adjustment made. The cost of the location and adjustment work, if any, shall be included in the total cost for the project. No additional payment will be made.

4. Contractor shall be responsible for coordinating support or temporary relocation of all existing overhead utilities affected by the proposed construction.

Any damage to electric facilities and services requiring adjustments, relocations and/or repairs will be made at the contractor's cost. Contractor shall not backfill exposed electric facilities until the company has inspected its facility or performed any adjustments and/or maintenance that may be

### LEGEND



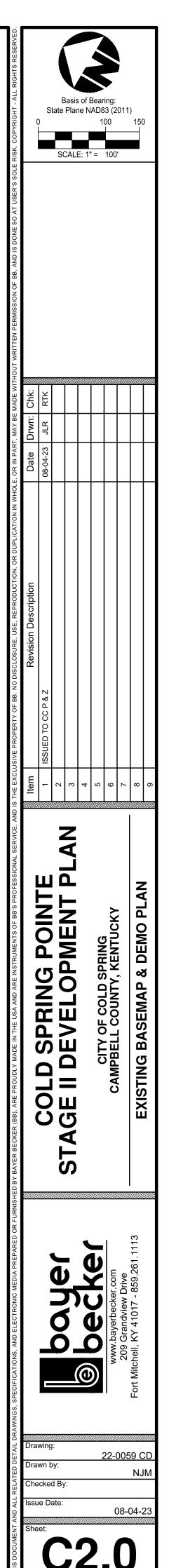
PROJECT AREA TO BE CLEARED OF TREES (±43.5 ACRES)

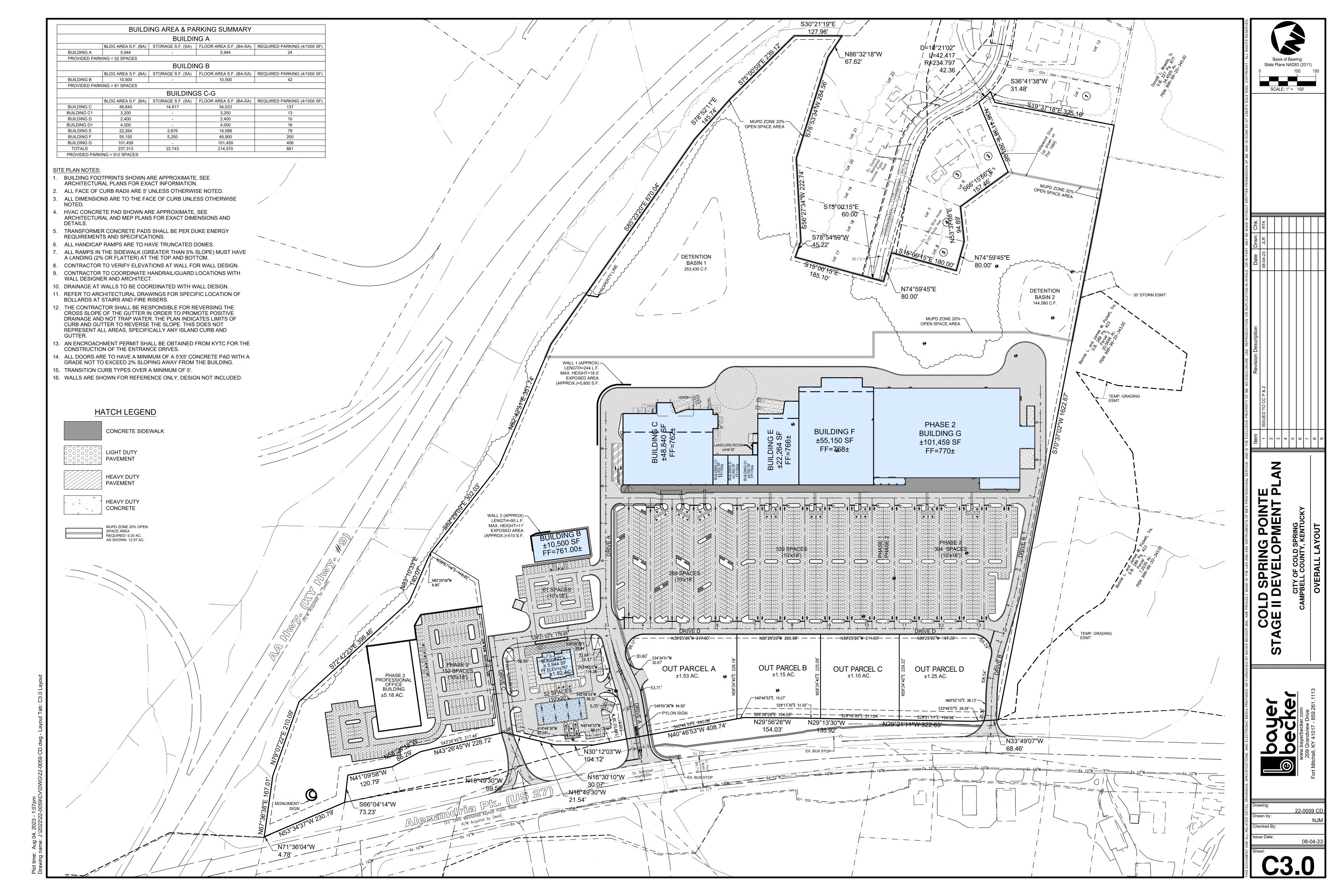
THE LOCATION OF THE UNDERGROUND UTILITIES SHOWN HAVE BEEN OBTAINED BY FIELD CHECKS AND INFORMATION PROVIDED BY THE UTILITY COMPANIES. IT IS BELIEVED THAT THEY ARE CORRECT BUT THE PREPARER DOES NOT GUARANTEE THE ACCURACY OR COMPLETENESS. THEREFORE, ALL UNDERGROUND UTILITIES SHALL BE FIELD LOCATED PRIOR TO CONSTRUCTION.

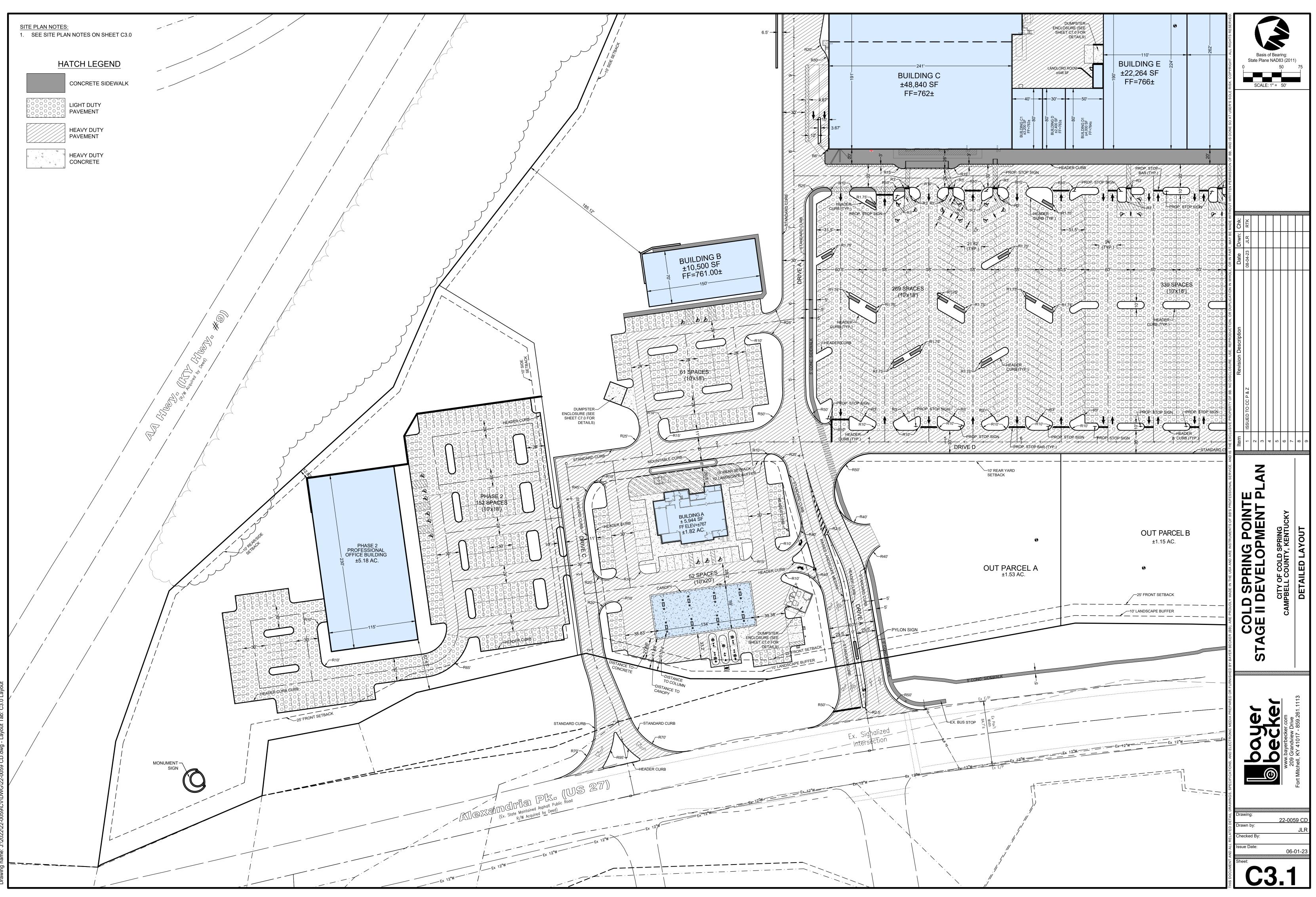
FOR MORE INFORMATION USE NUMBER SHOWN.

#### BURIED UTILITIES NOTE

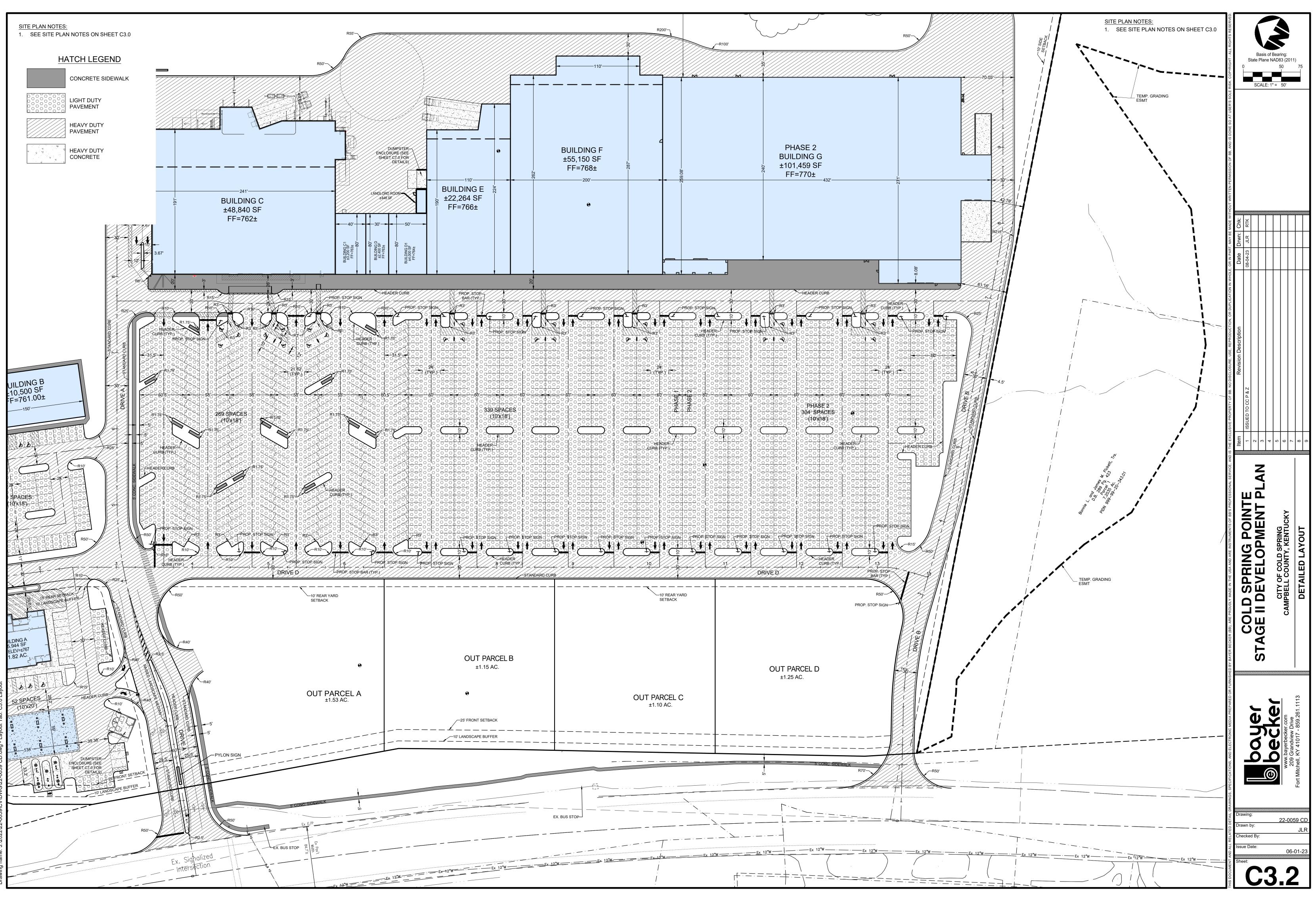
All above ground features have been field located. All buried utilities have been shown based upon field evidence, project utility plans, and/or information obtained from utility companies. The utilities shown may or may not be shown in their actual location. Other buried utilities might exist on the subject property which are not shown on this drawing.



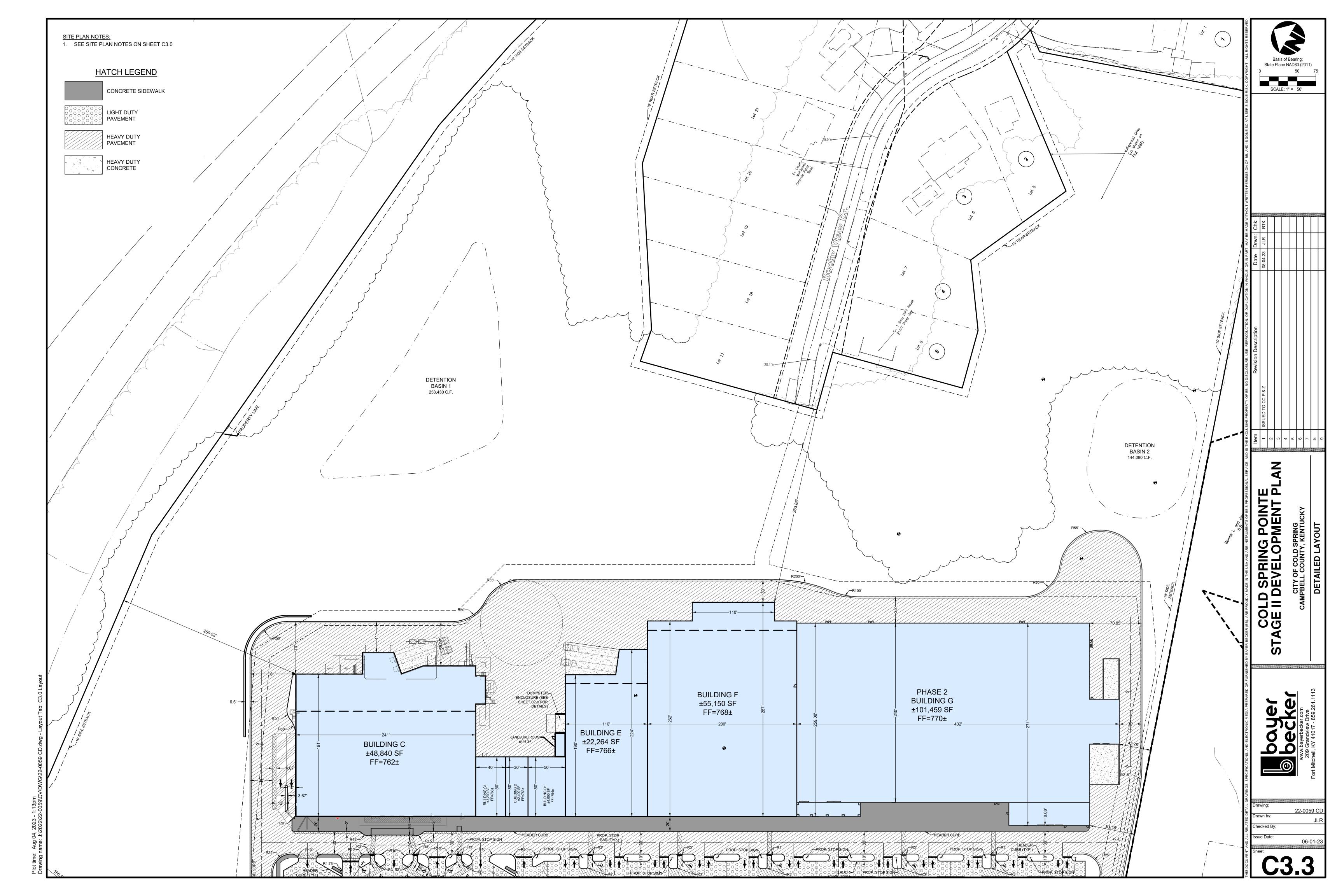




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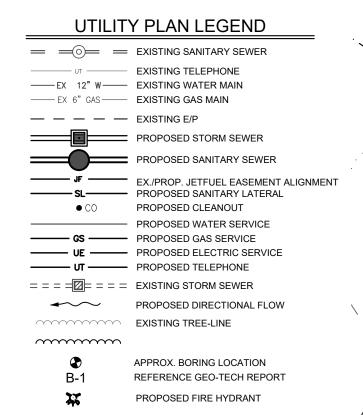


### UTILITY NOTES:

- ALL STORM SEWERS AS SHOWN ARE PRIVATE UNLESS OTHERWISE SHOWN.
   ALL STRUCTURE ELEVATIONS SHOWN ARE AT THE CENTER OF STRUCTURE, WALL OPENING ELEVATIONS VARY BASED ON PIPE SLOPE. INVERT ELEVATIONS ARE MEASURED AT THE CENTERLINE OF THE STRUCTURES. REFER TO SD1
- SPEC. SECTION 026010 FOR FLOWLINE REQUIREMENTS.
- 3. ALL UTILITY STRUCTURES & CLEANOUTS LOCATED IN PAVEMENT AREAS SHALL HAVE TRAFFIC BEARING GRATES, LIDS AND FRAMES.
- 4. PIPE LENGTHS AND SLOPES ARE BASED ON CENTER OF STRUCTURE TO CENTER OF STRUCTURE LENGTHS.
- 5. CONTRACTOR SHALL CONTACT SD1 FOR INSPECTION AND TO OBSERVE TESTING OF SANITARY SEWER (PUBLIC) RELOCATION.
- 6. UTILITY/BUILDING CONNECTION LOCATIONS & ELEVATIONS SHOWN ARE
- APPROXIMATE, SEE ARCHITECTURAL PLANS FOR EXACT INFORMATION.7. CONTRACTOR TO VERIFY SIZE & QUANTITY OF CONDUITS REQUIRED FOR
- UNDERGROUND ELECTRIC, TELEPHONE & CABLE SERVICE.
- ALL CATCH BASINS LOCATED IN THE PAVEMENT SHALL HAVE 5' SPIDER DRAINS ON EITHER SIDE OF THE CATCH BASIN ALONG THE CENTERLINE OF THE ROAD.
   SEE MEP PLAN FOR EXACT LOCATION AND SIZE OF GAS SERVICE.
- SLE MER PLANT OR EXACT ECCATION AND SIZE OF GAS SERVICE.
   ALL WATER LINES SHALL BE PROVIDED WITH THRUST BLOCKING AT ALL TEES AND HORIZONTAL AND VERTICAL BENDS WHETHER SHOWN ON THE PLAN VIEW OR NOT. THRUST BLOCKING SHALL MEET THE REQUIREMENTS OF GCWW.
- DRAINAGE AT WALLS TO BE COORDINATED WITH WALL DESIGN.
   THE OWNER IS RESPONSIBLE FOR PROPER MAINTENANCE OF THE POST CONSTRUCTION WATER QUALITY SYSTEMS ON THE SITE TO ENSURE PROPER
- FUNCTIONING OF THE SYSTEM AS A STORM WATER MANAGEMENT DEVICE 13. LIGHT POLE (TYP.) \* SEE ELECTRIC PLANS FOR DETAILS.

### SANITARY SEWER NOTES

- ALL CONSTRUCTION AND MATERIALS FOR SANITARY SEWER MAINS SHALL BE IN CONFORMANCE WITH THE RULES AND REGULATIONS OF THE SANITATION DISTRICT #1.
- PVC PIPE MATERIAL AND JOINTS SHALL CONFORM TO ASTM D-3034, LATEST REVISION. DUCTILE IRON PIPE MATERIAL AND JOINTS SHALL CONFORM TO AWWA C-151, LATEST REVISION.
- 3. SEWERS CROSSING WATERMAINS SHALL BE LAID TO PROVIDE A VERTICAL DISTANCE OF 18 INCHES BETWEEN THE OUTSIDE OF THE WATERMAIN AND THE OUTSIDE OF THE SEWER. THIS SHALL BE THE CASE WHERE THE WATERMAIN IS EITHER ABOVE OR BELOW THE SEWER. THE CROSSING SHALL BE ARRANGED SO THAT THE SEWER JOINTS WILL BE EQUIDISTANT AND AS FAR AS POSSIBLE FROM THE WATERMAIN JOINTS. WHERE A WATERMAIN CROSSES UNDER A SEWER, ADEQUATE STRUCTURAL SUPPORT SHALL BE PROVIDED FOR THE SEWER TO PREVENT DAMAGE TO THE WATERMAIN.
- 4. SEWERS SHALL BE LAID AT LEAST 10 FEET HORIZONTALLY FROM ANY EXISTING OR PROPOSED WATERMAIN. THE DISTANCE SHALL BE MEASURED EDGE TO EDGE.
- CONTRACTOR SHALL PERFORM ALL EXCAVATING, BACKFILLING, FILLING AND GRADING, AND DISPOSING OF EARTH MATERIALS AS SPECIFIED BY SECTION 02220 OF SD1 STANDARD SPECIFICATIONS.
- CONTRACTOR SHALL FURNISH AND INSTALL ALL PRECAST AND CAST-IN-PLACE MANHOLES, AND AIR RELEASE MANHOLES AS SPECIFIED BY SECTION 02606 OF SD1 STANDARD SPECIFICATIONS.
- 7. CONTRACTOR SHALL FURNISH, INSTALL, AND TEST ALL BURIED PIPING & FITTINGS AS SPECIFIED BY SECTION 02610 OF SD1 STANDARD SPECIFICATIONS. ALL PIPE SHALL BE SDR 35 IF COVER IS LESS THAN 20' DEEP. IF COVER IS GREATER THAN 20', SDR 26 SHALL BE USED.
- AT ALL MANHOLES WHERE A DROP INVERT IS PROPOSED, THE CONTRACTOR SHALL FILLET THE INVERT OF THE MANHOLE TO PREVENT SOLIDS DEPOSITION.
   INVERT ELEVATIONS ARE MEASURED AT THE CENTERLINE OF THE STRUCTURES. REFER TO SD1 SPEC. SECTION 026010 FOR FLOWLINE REQUIREMENTS.



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PHASE 2 PROFESSIONAL OFFICE BUILDING

±5.18 AC.

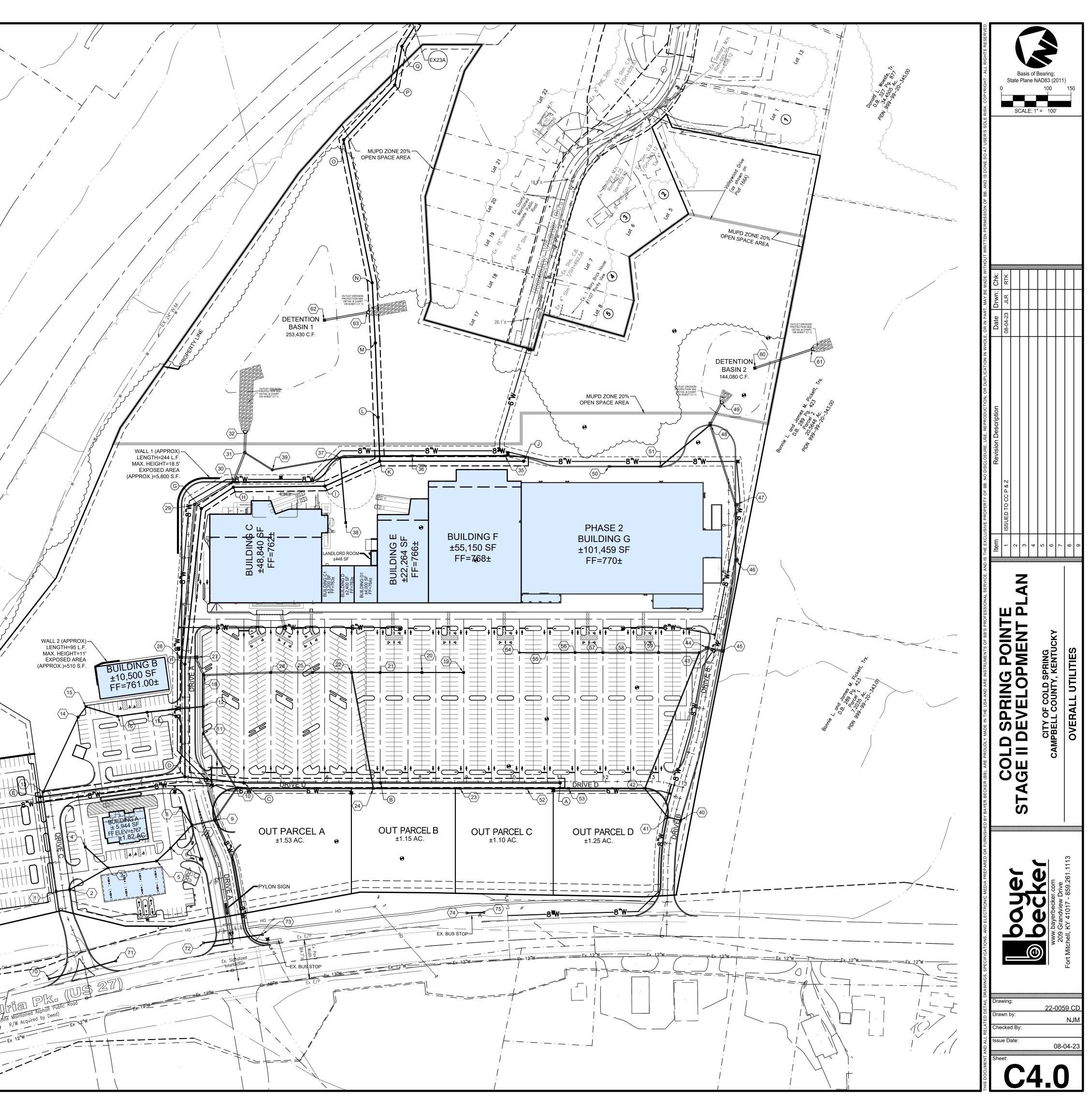
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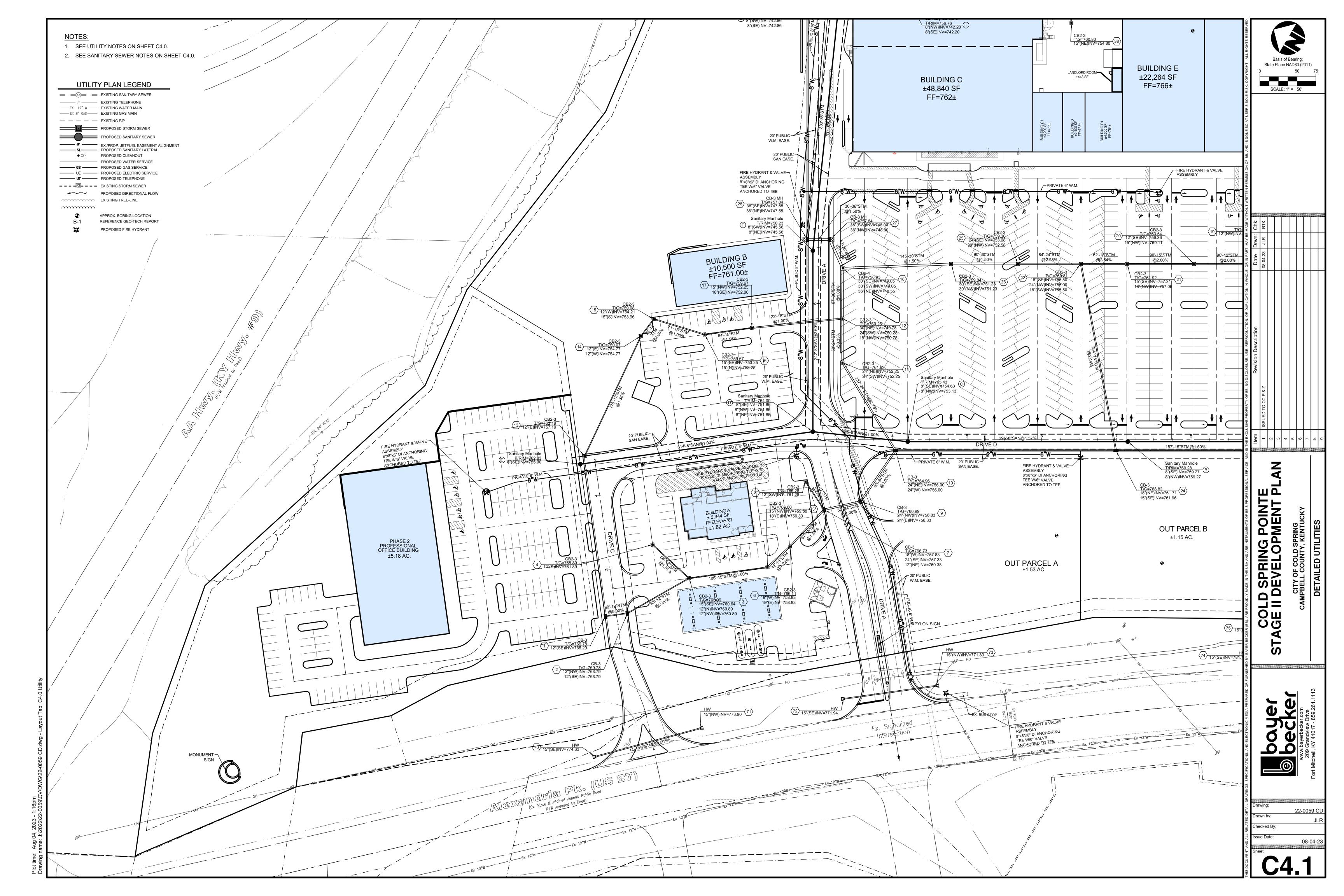
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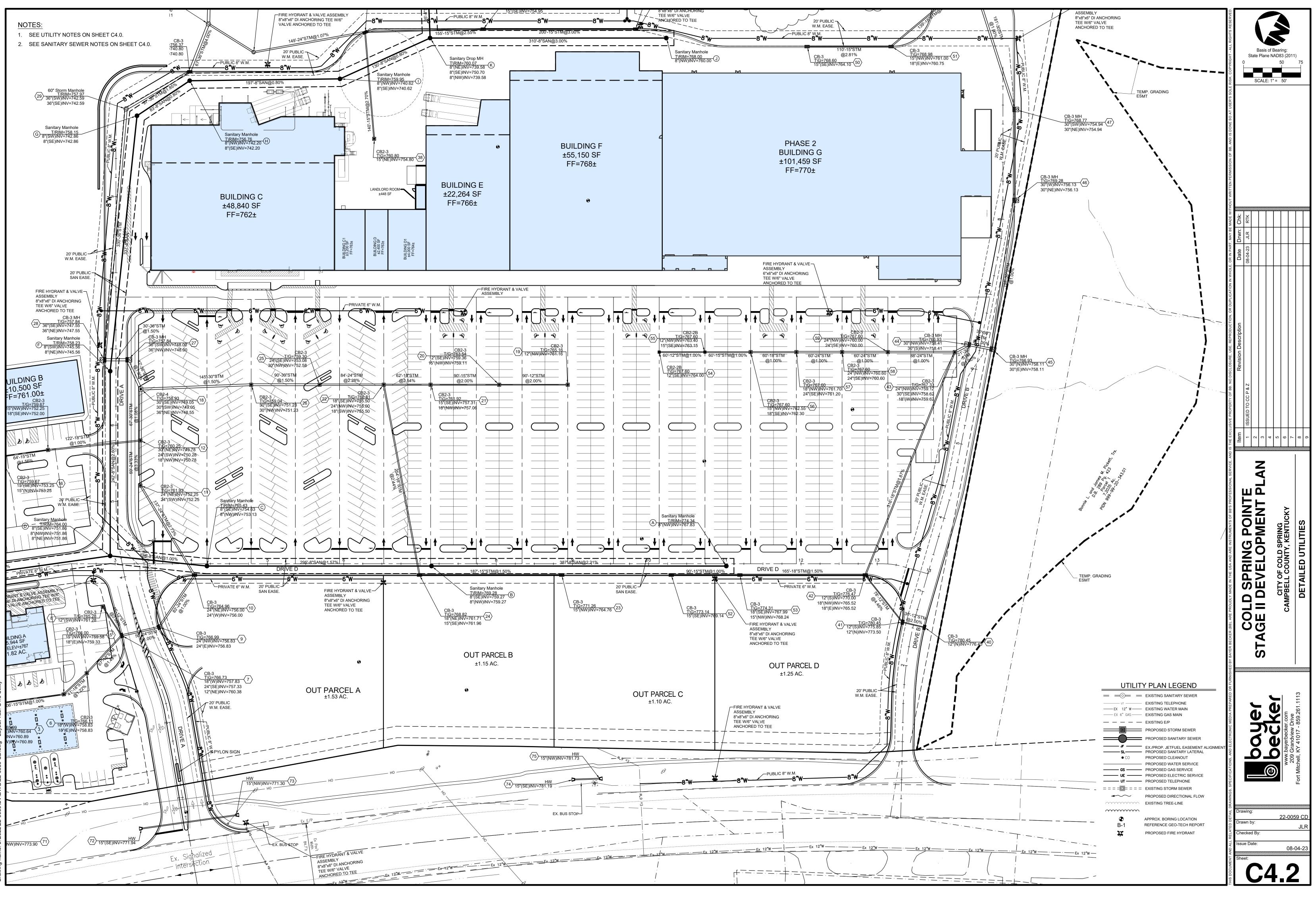
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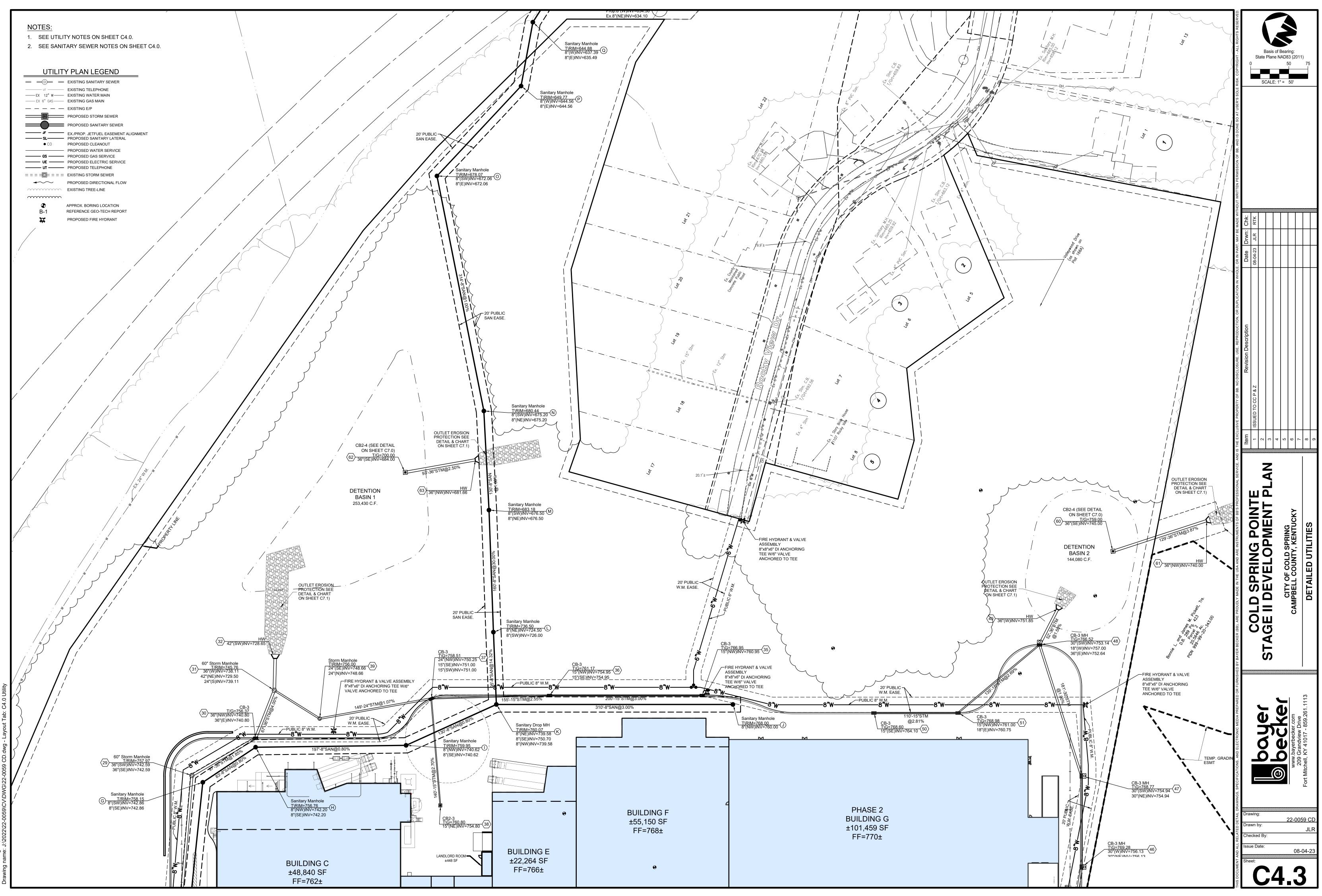
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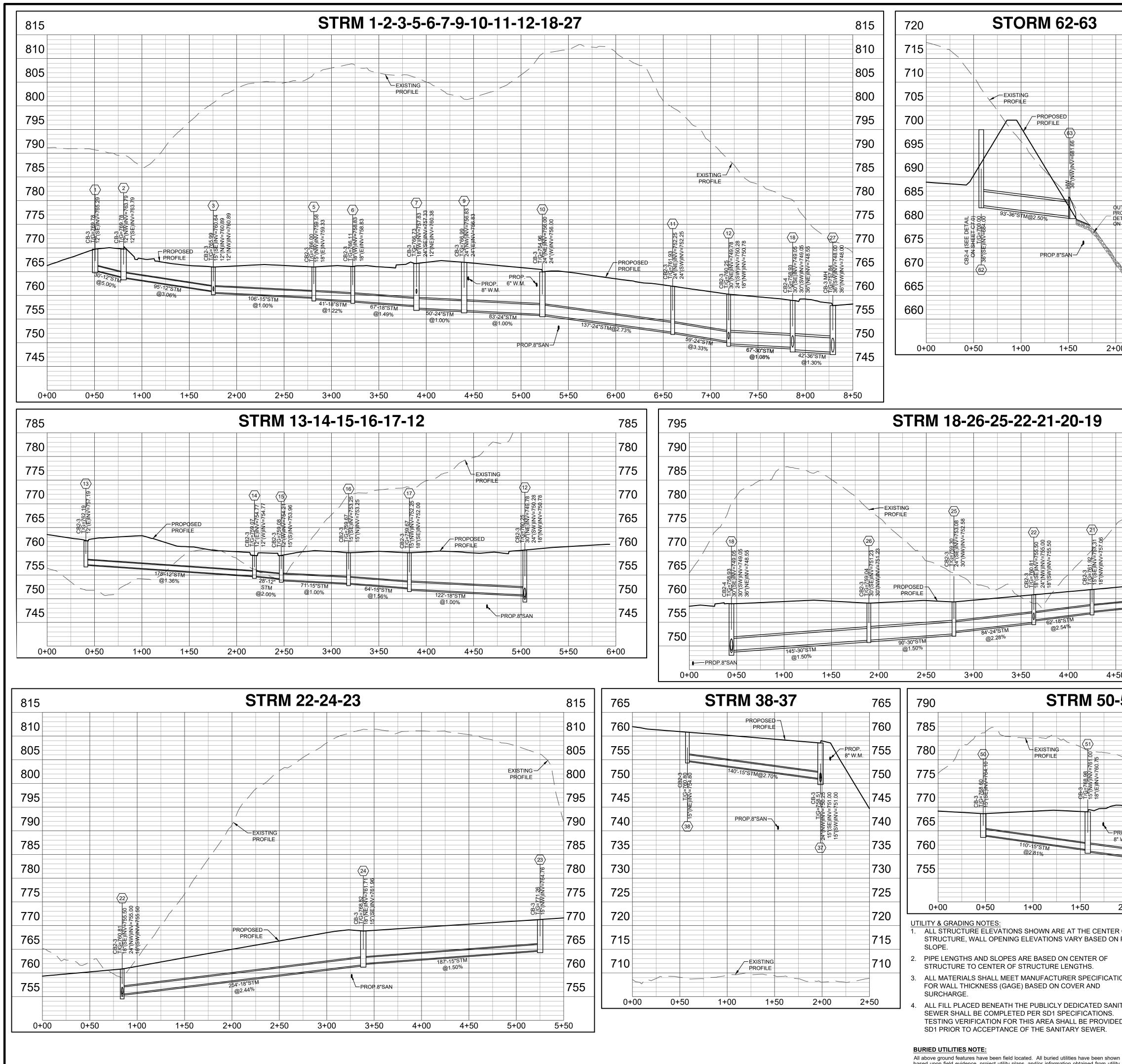






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|                                                              | 785     | 795 |      |                                                                                     |              |                |                                                               | STR                   | M 18-2                                                                | 6-25                | 5-22-2                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                               | 21-20-     | 19                                                                   |                    |                                             |                      |                                                    | 795  |
|--------------------------------------------------------------|---------|-----|------|-------------------------------------------------------------------------------------|--------------|----------------|---------------------------------------------------------------|-----------------------|-----------------------------------------------------------------------|---------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------|----------------------------------------------------------------------|--------------------|---------------------------------------------|----------------------|----------------------------------------------------|------|
|                                                              | 780     | 790 |      |                                                                                     |              |                |                                                               |                       |                                                                       |                     |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                      |            |                                                                      |                    |                                             |                      |                                                    | 790  |
|                                                              | 775     | 785 |      |                                                                                     |              |                |                                                               |                       |                                                                       |                     |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                      |            |                                                                      |                    |                                             |                      |                                                    | 785  |
| 82.0                                                         | 770     | 780 |      |                                                                                     |              |                |                                                               |                       |                                                                       |                     |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                      |            |                                                                      |                    |                                             |                      |                                                    | 780  |
| 18"(NWV)INV=750.78                                           | 765     | 775 |      |                                                                                     |              |                |                                                               | EXISTING<br>PROFILE   | 25<br>80 %                                                            |                     |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                      |            |                                                                      | /                  | 20                                          |                      | (19)<br>(19)                                       | 775  |
| 2010<br>2010<br>2010<br>2010<br>2010<br>2010<br>2010<br>2010 | 760     | 770 |      |                                                                                     |              |                |                                                               |                       | CE2:-3<br>CE2:-3<br>TCG=759.30<br>24"(SE1)NV=753.C<br>30"(NW)INV=752. |                     |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                      | 200        | 21<br>90.725<br>16.726                                               |                    | 54<br>10=759.36<br>NV=759.1                 |                      | CB2-3<br>7/G=765.16<br>12 <sup>°</sup> (NVV)NV=761 | 770  |
|                                                              | 755     | 765 |      | CB2-4<br>Tr(G=758.93<br>30°(SE)INV=749.05<br>30°(SW)INV=749.05<br>36°(NE)INV=748.55 |              |                | 04<br>NV=751.23<br>NV=751.23                                  |                       | CB2-3<br>CCB2-3<br>24"(Si<br>30"(N)                                   |                     | CB2-3<br>TIG=760.81<br>TIG=760.81<br>TIG=760.81<br>CB2-50<br>CB2-50<br>CB2-50<br>CB2-50<br>CB2-50<br>CB2-50<br>CB2-50<br>CB2-50<br>CB2-50<br>CB2-50<br>CB2-50<br>CB2-50<br>CB2-50<br>CB2-50<br>CB2-50<br>CB2-50<br>CB2-50<br>CB2-50<br>CB2-50<br>CB2-50<br>CB2-50<br>CB2-50<br>CB2-50<br>CB2-50<br>CB2-50<br>CB2-50<br>CB2-50<br>CB2-50<br>CB2-50<br>CB2-50<br>CB2-50<br>CB2-50<br>CB2-50<br>CB2-50<br>CB2-50<br>CB2-50<br>CB2-50<br>CB2-50<br>CB2-50<br>CB2-50<br>CB2-50<br>CB2-50<br>CB2-50<br>CB2-50<br>CB2-50<br>CB2-50<br>CB2-50<br>CB2-50<br>CB2-50<br>CB2-50<br>CB2-50<br>CB2-50<br>CB2-50<br>CB2-50<br>CB2-50<br>CB2-50<br>CB2-50<br>CB2-50<br>CB2-50<br>CB2-50<br>CB2-50<br>CB2-50<br>CB2-50<br>CB2-50<br>CB2-50<br>CB2-50<br>CB2-50<br>CB2-50<br>CB2-50<br>CB2-50<br>CB2-50<br>CB2-50<br>CB2-50<br>CB2-50<br>CB2-50<br>CB2-50<br>CB2-50<br>CB2-50<br>CB2-50<br>CB2-50<br>CB2-50<br>CB2-50<br>CB2-50<br>CB2-50<br>CB2-50<br>CB2-50<br>CB2-50<br>CB2-50<br>CB2-50<br>CB2-50<br>CB2-50<br>CB2-50<br>CB2-50<br>CB2-50<br>CB2-50<br>CB2-50<br>CB2-50<br>CB2-50<br>CB2-50<br>CB2-50<br>CB2-50<br>CB2-50<br>CB2-50<br>CB2-50<br>CB2-50<br>CB2-50<br>CB2-50<br>CB2-50<br>CB2-50<br>CB2-50<br>CB2-50<br>CD2-50<br>CD2-50<br>CD2-50<br>CD2-50<br>CD2-50<br>CD2-50<br>CD2-50<br>CD2-50<br>CD2-50<br>CD2-50<br>CD2-50<br>CD2-50<br>CD2-50<br>CD2-50<br>CD2-50<br>CD2-50<br>CD2-50<br>CD2-50<br>CD2-50<br>CD2-50<br>CD2-50<br>CD2-50<br>CD2-50<br>CD2-50<br>CD2-50<br>CD2-50<br>CD2-50<br>CD2-50<br>CD2-50<br>CD2-50<br>CD2-50<br>CD2-50<br>CD2-50<br>CD2-50<br>CD2-50<br>CD2-50<br>CD2-50<br>CD2-50<br>CD2-50<br>CD2-50<br>CD2-50<br>CD2-50<br>CD2-50<br>CD2-50<br>CD2-50<br>CD2-50<br>CD2-50<br>CD2-50<br>CD2-50<br>CD2-50<br>CD2-50<br>CD2-50<br>CD2-50<br>CD2-50<br>CD2-50<br>CD2-50<br>CD2-50<br>CD2-50<br>CD2-50<br>CD2-50<br>CD2-50<br>CD2-50<br>CD2-50<br>CD2-50<br>CD2-50<br>CD2-50<br>CD2-50<br>CD2-50<br>CD2-50<br>CD2-50<br>CD2-50<br>CD2-50<br>CD2-50<br>CD2-50<br>CD2-50<br>CD2-50<br>CD2-50<br>CD2-50<br>CD2-50<br>CD2-50<br>CD2-50<br>CD2-50<br>CD2-50<br>CD2-50<br>CD2-50<br>CD2-50<br>CD2-50<br>CD2-50<br>CD2-50<br>CD2-50<br>CD2-50<br>CD2-50<br>CD2-50<br>CD2-50<br>CD2-50<br>CD2-50<br>CD2-50<br>CD2-50<br>CD2-50<br>CD2-50<br>CD2-50<br>CD2-50<br>CD2-50<br>CD2-50<br>CD2-50<br>CD2-50<br>CD2-50<br>CD2-50<br>CD2-50<br>CD2-50<br>CD2-50<br>CD2-50<br>CD2-50<br>CD2-50<br>CD2-50<br>CD2-50<br>CD2-50<br>CD2-50<br>CD2-50<br>CD2-50<br>CD2-50<br>CD2-50<br>CD2-50<br>CD2-50<br>CD2-50<br>CD2-50<br>CD2-50<br>CD2-50<br>CD2-50<br>CD2-50<br>CD2-50<br>CD2-50<br>CD2-50<br>CD2-50<br>CD2-50<br>CD2-50<br>CD2-50<br>CD2-50<br>CD2-50<br>CD2-50<br>CD2-50<br>CD2-50<br>CD2-50<br>CD2-50<br>CD2-50<br>CD2-50<br>CD2-50<br>CD2-50<br>CD2-50<br>CD2-50<br>CD2-50<br>CD2-50<br>CD2-50<br>CD2-50<br>CD2-50<br>CD2-50<br>CD2-50<br>CD2-50<br>CD2-50<br>CD2-50<br>CD2-50<br>CD2-50<br>CD2-50<br>CD2-50<br>CD2-50<br>CD2-50<br>CD2-50<br>CD2-50<br>CD2-50<br>CD2-50<br>CD2-50<br>CD2-50<br>CD2-50<br>CD2-50<br>CD2-50<br>CD2-5 |            | T(G=75<br>15(SE)INV=757,31<br>18"(NW)INV=757.06<br>18"(NW)INV=757.06 |                    | CB2-3<br>T/G=763(<br>12"(SE)IN<br>15"(NW)IN |                      | CB2-3<br>T/G=7<br>12"(NV                           | 765  |
|                                                              | 750     | 760 |      | CB2-4<br>Tr(G=758<br>30"(SE)]<br>30"(SW)<br>36"(NE)I                                |              |                | CB2-3<br>CB2-3<br>T/G=75904<br>30'(SE)INV=75<br>30''(NW)INV=7 | PROPOSED -<br>PROFILE |                                                                       | <u> </u>            | CB2-<br>17/G=<br>18"(S                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                               | 18"(5      | 15.00                                                                |                    |                                             |                      |                                                    | 760  |
|                                                              | 745     | 755 |      |                                                                                     |              |                |                                                               |                       |                                                                       |                     |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                      | 62'-18"STM |                                                                      | 90'-15"\$<br>@2.00 | STM<br>D%                                   | 90'-12"STM<br>@2.00% |                                                    | 755  |
|                                                              |         | 750 |      |                                                                                     |              |                |                                                               | 90'-30"STM            |                                                                       | 84'-24"S1<br>@2.28% | M<br>%                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                               | @2.54%     |                                                                      |                    |                                             |                      |                                                    | 750  |
| 5+5                                                          | 50 6+00 |     | PROF | 2.8"SAN                                                                             | 145'-3<br>@1 | 80"STM<br>.50% |                                                               | @1.50%                |                                                                       |                     |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                      |            |                                                                      |                    |                                             |                      |                                                    |      |
|                                                              |         | 0+0 | )0   | 0+50                                                                                | 1+00         | 1+50           | 2+00                                                          | ) 2+                  | -50 3+                                                                | 00                  | 3+50                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                 | 4+00       | 4+50                                                                 | 5+                 | 00                                          | 5+50                 | 6+00                                               | 6+50 |

| 815             | 765 | STRM 38-37                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                             | 765 |
|-----------------|-----|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----|
| 810             | 760 | PROPOSED - PROFILE                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                     | 760 |
| 805             | 755 | PROP.<br>8" W.M.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                       | 755 |
| 800             | 750 |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                        | 750 |
| 795             | 745 | 140'-15"STM@2.70%           140'-15"STM@2.70%           140'-15"STM@2.70%           15000           10000           10000           10000           10000           10000           15000           15000           10000           11000           11000           11000           11000           11000           11000           11000           11000           11000           11000           11000           11000           11000           11000           11000           11000           11000           11000           11000           11000           11000           11000           11000           11000           11000           11000           11000           11000           11000           11000           11000           11000           11000           11000           11000           11000                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                              | 745 |
| 790             | 740 | 1     1     1     1     1     1     1     1     1     1     1     1     1     1     1     1     1     1     1     1     1     1     1     1     1     1     1     1     1     1     1     1     1     1     1     1     1     1     1     1     1     1     1     1     1     1     1     1     1     1     1     1     1     1     1     1     1     1     1     1     1     1     1     1     1     1     1     1     1     1     1     1     1     1     1     1     1     1     1     1     1     1     1     1     1     1     1     1     1     1     1     1     1     1     1     1     1     1     1     1     1     1     1     1     1     1     1     1     1     1     1     1     1     1     1     1     1     1     1     1     1     1     1     1     1     1     1     1     1     1     1     1     1     1     1     1 <td>740</td>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                               | 740 |
| 785             | 735 |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                        | 735 |
| 23<br>23<br>780 | 730 | Image: system of the | 730 |
| 780<br>775      | 725 | Image: Anomaly and the state of the sta        | 725 |
| 770             | 720 | Image: Anomaly and the state of the sta        | 720 |
| 765             | 715 | Image: second | 715 |
| 760             | 710 | EXISTING<br>PROFILE                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                    | 710 |
| 755             |     |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                        |     |
|                 | 0+0 | 00 0+50 1+00 1+50 2+00 2-                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                              | +50 |

| 790  |                                             | S                     | TRM :                                                      | 50-51-4  | 48        |                                                                                    | 790  |
|------|---------------------------------------------|-----------------------|------------------------------------------------------------|----------|-----------|------------------------------------------------------------------------------------|------|
| 785  |                                             |                       |                                                            |          |           |                                                                                    | 785  |
| 780  | (50)                                        | EXISTING              | 51                                                         |          |           |                                                                                    | 780  |
| 775  | 60<br>                                      |                       | CB-3<br>T/G=768.98<br>15"(NVV)NV=761.00<br>18"(E)NV=760.75 |          |           | 52<br>4V=753 (4 (8)<br>1=752.64<br>=752.64                                         | 775  |
| 770  | CB-3<br>CB-3<br>Tr/C= 768.60<br>15"(SE)INV= |                       | CB-3<br>15"(CB-7<br>15"(CM)<br>18"(E)                      | P        |           | CB-3 MH<br>17/G=766.52<br>30 <sup>-</sup> (SW)INV=<br>18"(W)INV=75<br>36"(E)INV=75 | 770  |
| 765  |                                             |                       |                                                            | -PROP.   |           | 36"."                                                                              | 765  |
| 760  |                                             | 110'-15"STM<br>@2 81% |                                                            | 8" W.M.  |           |                                                                                    | 760  |
| 755  |                                             |                       |                                                            | 139'-18" | STM@2.69% |                                                                                    | 755  |
|      |                                             |                       |                                                            |          |           | Ú                                                                                  |      |
| 0+00 | 0+50                                        | 1+00                  | 1+50                                                       | 2+00     | 2+50      | 3+00                                                                               | 3+50 |

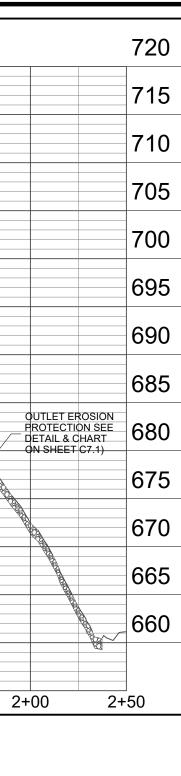
ALL STRUCTURE ELEVATIONS SHOWN ARE AT THE CENTER OF STRUCTURE, WALL OPENING ELEVATIONS VARY BASED ON PIPE

2. PIPE LENGTHS AND SLOPES ARE BASED ON CENTER OF

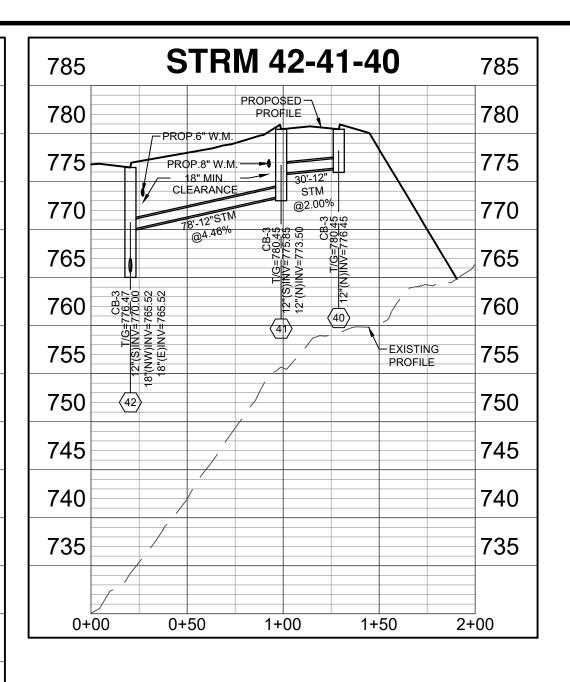
3. ALL MATERIALS SHALL MEET MANUFACTURER SPECIFICATIONS FOR WALL THICKNESS (GAGE) BASED ON COVER AND

4. ALL FILL PLACED BENEATH THE PUBLICLY DEDICATED SANITARY SEWER SHALL BE COMPLETED PER SD1 SPECIFICATIONS. TESTING VERIFICATION FOR THIS AREA SHALL BE PROVIDED TO SD1 PRIOR TO ACCEPTANCE OF THE SANITARY SEWER.

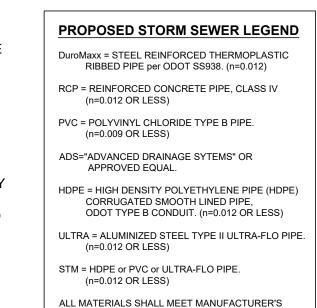
based upon field evidence, project utility plans, and/or information obtained from utility companies. The utilities shown may or may not be shown in their actual location. Other buried utilities might exist on the subject property which are not shown on this drawing.



1+50



| 785 | <b>STRM 8-7</b>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                            | 785             |
|-----|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------------|
| 780 |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                            | 780             |
| 775 | 8<br>8<br>8<br>8<br>8<br>8<br>8<br>8<br>8<br>8<br>8<br>8<br>8<br>8                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                         | 775             |
| 770 | 65.28<br>V)INV=7<br>V)INV=7<br>E)INV=7<br>E)INV=7                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                          | 770             |
| 765 | CB2-3<br>TIG=7<br>12"(SW<br>CB-3<br>CB-3<br>12"(SW<br>CB-3<br>12"(SW<br>CB-3<br>12"(SW<br>CB-3<br>12"(SW<br>CB-3<br>12"(SW<br>CB-3<br>12"(SW<br>CB-3<br>12"(SW<br>CB2-3<br>12"(SW<br>CB2-3<br>12"(SW<br>CB2-3<br>12"(SW<br>CB2-3<br>12"(SW<br>CB2-3<br>12"(SW<br>CB2-3<br>12"(SW<br>CB2-3<br>12"(SW<br>CB2-3<br>12"(SW<br>CB2-3<br>12"(SW<br>CB2-3<br>12"(SW<br>CB2-3<br>12"(SW<br>CB2-3<br>12"(SW<br>CB2-3<br>12"(SW<br>CB2-3<br>12"(SW<br>CB2-3<br>12"(SW<br>CB2-3<br>12"(SW<br>CB2-3<br>12"(SW<br>CB2-3<br>12"(SW<br>CB2-3<br>12"(SW<br>CB2-3<br>12"(SW<br>CB2-3<br>12"(SW<br>CB2-3<br>12"(SW<br>CB2-3<br>12"(SW<br>CB2-3<br>12"(SW<br>CB2-3<br>12"(SW<br>CB2-3<br>12"(SW<br>CB2-3<br>12"(SW<br>CB2-3<br>12"(SW<br>CB2-3<br>12"(SW<br>CB2-3<br>12"(SW<br>CB2-3<br>12"(SW<br>CB2-3<br>12"(SW<br>CB2-3<br>12"(SW<br>CB2-3<br>12"(SW<br>CB2-3<br>12"(SW<br>CB2-3<br>12"(SW<br>CB2-3<br>12"(SW<br>CB2-3<br>12"(SW<br>CB2-3<br>12"(SW<br>CB2-3<br>12"(SW<br>CB2-3<br>12"(SW<br>CB2-3<br>12"(SW<br>CB2-3<br>12"(SW<br>CB2-3<br>12"(SW<br>CB2-3<br>12"(SW<br>CB2-3<br>12"(SW<br>CB2-3<br>12"(SW<br>CB2-3<br>12"(SW<br>CB2-3<br>12"(SW<br>CB2-3<br>12"(SW<br>CB2-3<br>12"(SW<br>CB2-3<br>12"(SW<br>CB2-3<br>12"(SW<br>CB2-3<br>12"(SW<br>CB2-3<br>12"(SW<br>CB2-3<br>12"(SW<br>CB2-3<br>12"(SW<br>CB2-3<br>12"(SW<br>CB2-3<br>12"(SW<br>CB2-3<br>12"(SW<br>CB2-3<br>12"(SW<br>CB2-3<br>12"(SW)CB2-3<br>12"(SW)CB2-3<br>12"(SW)CB2-3<br>12"(SW)CB2-3<br>12"(SW)CB2-3<br>12"(SW)CB2-3<br>12"(SW)CB2-3<br>12"(SW)CB2-3<br>12"(SW)CB2-3<br>12"(SW)CB2-3<br>12"(SW)CB2-3<br>12"(SW)CB2-3<br>12"(SW)CB2-3<br>12"(SW)CB2-3<br>12"(SW)CB2-3<br>12"(SW)CB2-3<br>12"(SW)CB2-3<br>12"(SW)CB2-3<br>12"(SW)CB2-3<br>12"(SW)CB2-3<br>12"(SW)CB2-3<br>12"(SW)CB2-3<br>12"(SW)CB2-3<br>12"(SW)CB2-3<br>12"(SW)CB2-3<br>12"(SW)CB2-3<br>12"(SW)CB2-3<br>12"(SW)CB2-3<br>12"(SW)CB2-3<br>12"(SW)CB2-3<br>12"(SW)CB2-3<br>12"(SW)CB2-3<br>12"(SW)CB2-3<br>12"(SW)CB2-3<br>12"(SW)CB2-3<br>12"(SW)CB2-3<br>12"(SW)CB2-3<br>12"(SW)CB2-3<br>12"(SW)CB2-3<br>12"(SW)CB2-3<br>12"(SW)CB2-3<br>12"(SW)CB2-3<br>12"(SW)CB2-3<br>12"(SW)CB2-3<br>12"(SW)CB2-3<br>12"(SW)CB2-3<br>12"(SW)CB2-3<br>12"(SW)CB2-3<br>12"(SW)CB2-3<br>12"(SW)CB2-3<br>12"(SW)CB2-3<br>12"(SW)CB2-3<br>12"(SW)CB2-3<br>12"(SW)CB2-3<br>12"(SW)CB2-3<br>12"(SW)CB2-3<br>12"(SW)CB2-3<br>12"(SW)CB2-3<br>12"(SW)CB2-3<br>12"(SW)CB2-3<br>12"(SW)CB2-3<br>12"(SW)CB2-3<br>12"(SW)CB2-3<br>12"(SW)CB2-3<br>12"(SW)CB2-3<br>12"(SW)CB2-3<br>12"(SW)CB2-3<br>12"(SW)CB2-3<br>12"(SW)CB2-3<br>12"(SW)CB2-3<br>12"(SW)CB2-3<br>12"(SW)CB2-3<br>12"(SW)CB2-3<br>12"(SW)CB2-3<br>12"(SW)CB2-3<br>12"(SW)CB2-3<br>12"(SW)CB2-3<br>12"(SW)CB2-3<br>12"(SW)CB2-3<br>12"(SW)CB2-3<br>12"(SW)CB2-3<br>12"(SW)CB2-3<br>12"(SW)CB2-3<br>12"(SW)CB2-3<br>12"(SW)CB2-3<br>12"(SW)CB2-3<br>12"(SW)CB2-3<br>12"(SW)C | 765             |
| 760 | 45' 12"\$TM                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                | 760<br>POSED    |
| 755 |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                            | <sup>FILE</sup> |
| 750 |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                            | 750             |
| -   |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                            |                 |
| 0+( | 00 0+50 1+                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                 | 00              |



SPECIFICATIONS FOR WALL THICKNESS (GAGE)

BASED ON COVER AND SURCHARGE.

**STRM 4-3** 805 805 800 800 795 795 790 790 PROFILE 785 785 780 780  $\langle 4 \rangle$ 775 775 770 770 765 -765 PROFILE 760 760 <u>12"STM</u> @1.51% 0+00 0+50 1+00 1+50 DERGROUND The location of the underground utilities shown have been obtained by field checks and information provided by the utility

COMPANIES. IT IS BELIEVED THAT THEY ARE

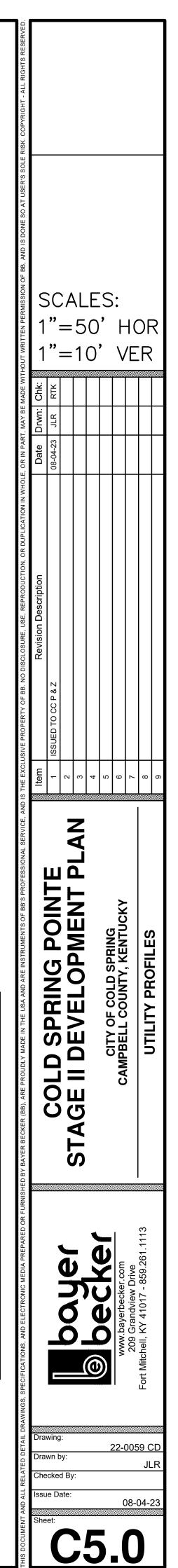
GUARANTEE THE ACCURACY OR COMPLETENESS.

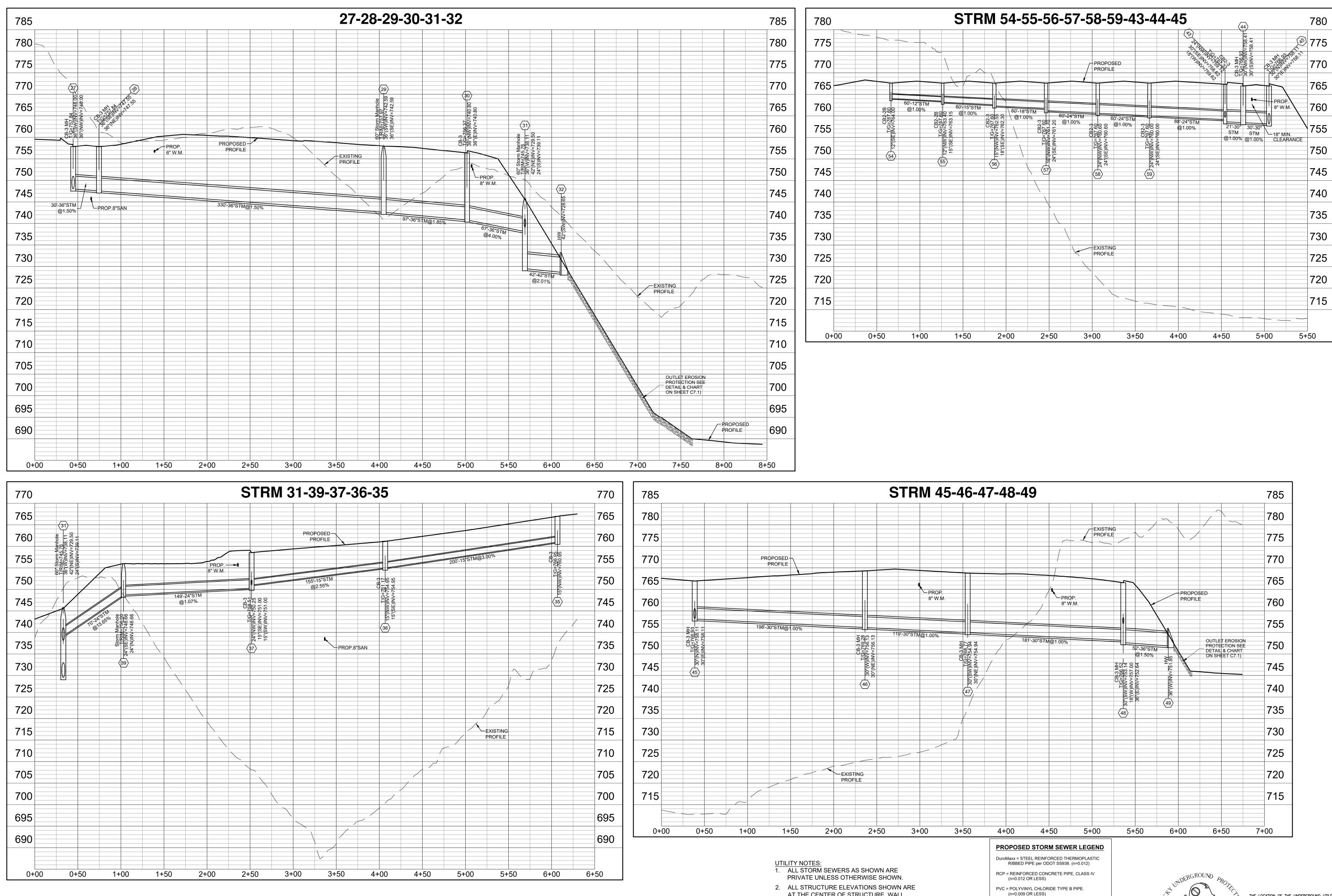
THEREFORE, ALL UNDERGROUND UTILITIES SHALL BE FIELD LOCATED PRIOR TO CONSTRUCTION.

FOR MORE INFORMATION USE NUMBER SHOWN.

CORRECT BUT THE PREPARER DOES NOT

1-800-752-6007 RATING DAYS BEF

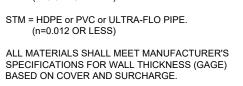




- AT THE CENTER OF STRUCTURE, WALL OPENING ELEVATIONS VARY BASED ON PIPE SLOPE.
- 3. PIPE LENGTHS AND SLOPES ARE BASED ON
- CENTER OF STRUCTURE TO CENTER OF STRUCTURE LENGTHS.

### **BURIED UTILITIES NOTE:**

All above ground features have been field located. All buried utilities have been shown based upon field evidence, project utility plans, and/or information obtained from utility companies. The utilities shown may or may not be shown in their actual location. Other buried utilities might exist on the subject property which are not shown on this drawing.



ODOT TYPE B CONDUIT. (n=0.012 OR LESS) ULTRA = ALUMINIZED STEEL TYPE II ULTRA-FLO PIPE. (n=0.012 OR LESS)

APPROVED EQUAL. HDPE = HIGH DENSITY POLYETHYLENE PIPE (HDPE) CORRUGATED SMOOTH LINED PIPE,

(n=0.009 OR LESS) ADS="ADVANCED DRAINAGE SYTEMS" OR

PVC = POLYVINYL CHLORIDE TYPE B PIPE.

THE LOCATION OF THE UNDERGROUND UTILITIES SHOWN HAVE BEEN OBTAINED BY FIELD CHECKS AND INFORMATION PROVIDED BY THE UTILITY

COMPANIES. IT IS BELIEVED THAT THEY ARE

GUARANTEE THE ACCURACY OR COMPLETENESS. THEREFORE, ALL UNDERGROUND UTILITIES SHALL BE FIELD LOCATED PRIOR TO CONSTRUCTION.

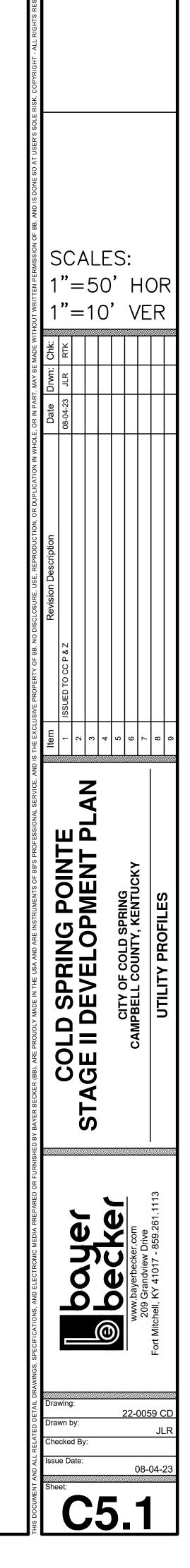
FOR MORE INFORMATION USE NUMBER SHOWN.

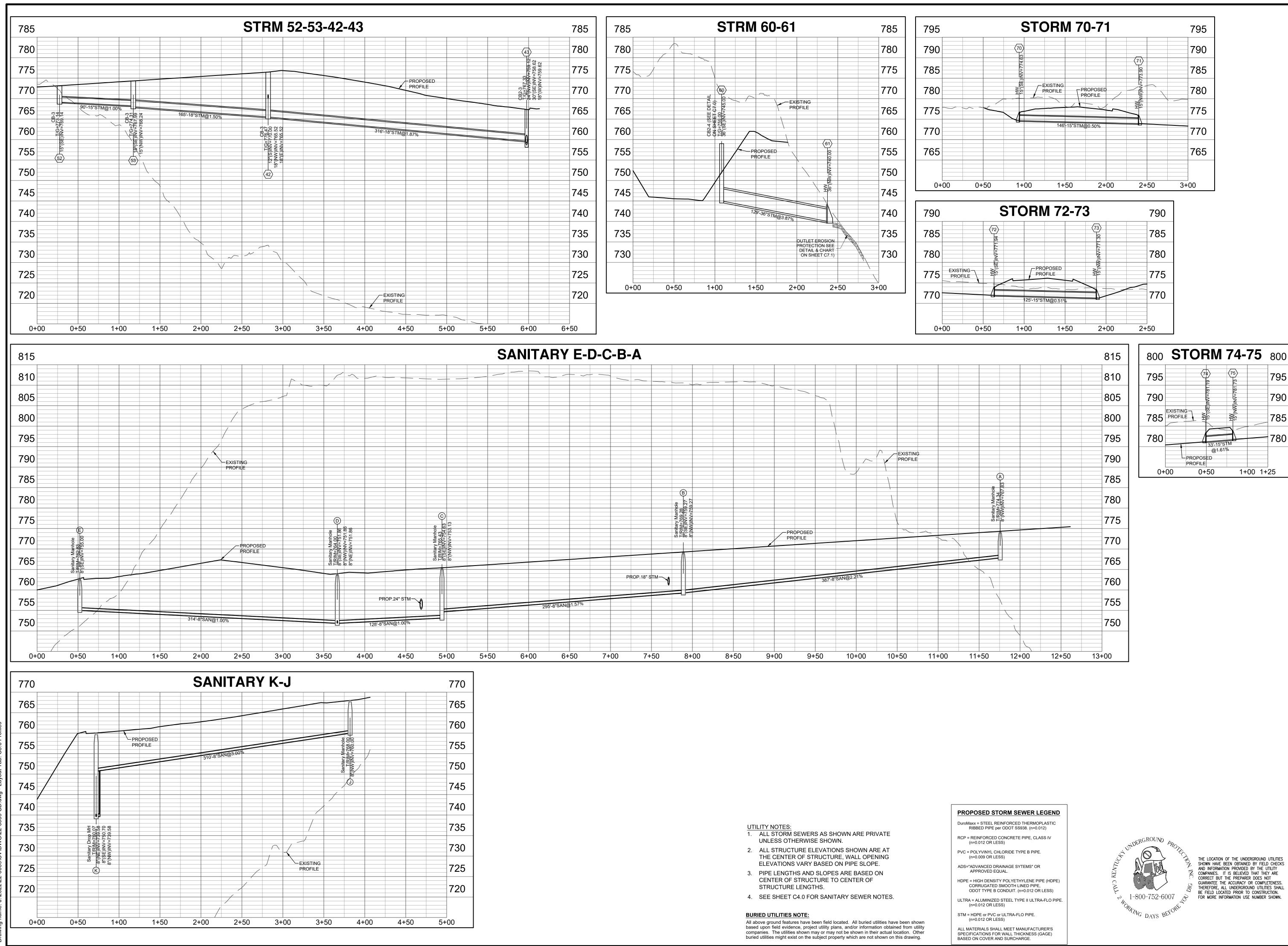
CORRECT BUT THE PREPARER DOES NOT

1-800-752-6007

DAYS

MING .





| PROPO                   |
|-------------------------|
| DuroMaxx<br>RIBE        |
| RCP = REI<br>(n=0       |
| PVC = POL<br>(n=0       |
| ADS="AD\<br>APF         |
| HDPE = HI<br>COR<br>ODC |

| 800 | STORM               | <b>174-75</b> 800 |  |
|-----|---------------------|-------------------|--|
| 795 | (74)<br>(74)        | (75)<br>R 795     |  |
| 790 | <u></u>             | 790               |  |
| 785 |                     |                   |  |
| 780 | 33'-1               | 5"STM 780         |  |
|     | PROPOSED<br>PROFILE | .61%              |  |
| 0+  | 00 0+50             | 1+00 1+25         |  |

| S RESERVED.                                                                                                                                                                                                                               |                      |                    |            |             |   |                     |                           |                                         |                                  | ٦          |
|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------------------|--------------------|------------|-------------|---|---------------------|---------------------------|-----------------------------------------|----------------------------------|------------|
| BE MADE WITHOUT WRITTEN PERMISSION OF BB, AND IS DONE SO AT USER'S SOLE RISK. COPYRIGHT - ALL RIGHTS RESERVED                                                                                                                             |                      |                    |            |             |   |                     |                           |                                         |                                  |            |
| S SOLE RISK. COP                                                                                                                                                                                                                          |                      |                    |            |             |   |                     |                           |                                         |                                  |            |
| DONE SO AT USER                                                                                                                                                                                                                           |                      |                    |            |             |   |                     |                           |                                         |                                  |            |
| ION OF BB, AND IS                                                                                                                                                                                                                         |                      |                    |            |             | _ |                     |                           |                                         |                                  |            |
| <b>WRITTEN PERMISS</b>                                                                                                                                                                                                                    | 1                    | »:<br>":<br>"      | ;          | 5           | Ŭ | ,<br>,              | ⊦                         |                                         | )<br>JF                          | Ţ          |
| ADE WITHOUT                                                                                                                                                                                                                               | Chk:                 | RTK                |            |             | 0 |                     | V                         |                                         | .R                               |            |
|                                                                                                                                                                                                                                           | Drwn: (              | JLR                |            |             |   |                     |                           |                                         |                                  |            |
| HOLE, OR IN PA                                                                                                                                                                                                                            | Date                 | 08-04-23           |            |             |   |                     |                           |                                         |                                  |            |
| PLICATION IN W                                                                                                                                                                                                                            |                      |                    |            |             |   |                     |                           |                                         |                                  |            |
| UCTION, OR DU                                                                                                                                                                                                                             | ion                  |                    |            |             |   |                     |                           |                                         |                                  |            |
| E, USE, REPROD                                                                                                                                                                                                                            | Revision Description |                    |            |             |   |                     |                           |                                         |                                  |            |
| NO DISCLOSUR                                                                                                                                                                                                                              | Revisi               |                    |            |             |   |                     |                           |                                         |                                  |            |
| DERTY OF BB.                                                                                                                                                                                                                              |                      | ISSUED TO CC P & Z |            |             |   |                     |                           |                                         |                                  |            |
| EXCLUSIVE PRC                                                                                                                                                                                                                             | Item                 | 1 ISSUED           | 2          | 3           | 4 | 5                   | 6                         | 2                                       | 8                                | 6          |
| CE, AND IS THE                                                                                                                                                                                                                            | Ite                  |                    |            |             | , |                     |                           |                                         |                                  |            |
| SSIONAL SERVI                                                                                                                                                                                                                             |                      |                    |            | L<br>A      |   |                     |                           |                                         |                                  |            |
| OF BB'S PROFE                                                                                                                                                                                                                             |                      | Z                  |            | Z           |   |                     | СKV                       |                                         |                                  |            |
| E INSTRUMENTS                                                                                                                                                                                                                             |                      |                    |            | П<br>М<br>М |   | SPRING              | CAMPREI I COUNTY KENTUCKY | , ,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,, |                                  |            |
| E USA AND ARE                                                                                                                                                                                                                             |                      | Z                  |            |             |   | CITY OF COLD SPRING | COUNTV                    |                                         | ILTILITY PROFILES                |            |
| LY MADE IN THI                                                                                                                                                                                                                            |                      | л<br>С<br>Г        |            | С<br>С      |   |                     | APRFIL                    |                                         |                                  |            |
| 3B), ARE PROUD                                                                                                                                                                                                                            |                      | COLD SPRING POINTE | i =<br>) L |             |   |                     | C A L                     |                                         |                                  |            |
| YER BECKER (E                                                                                                                                                                                                                             |                      |                    |            | <b>JAL</b>  |   |                     |                           |                                         |                                  |            |
| PREPARED OR FURNISHED BY BAYER BECKER (BB), ARE PROUDLY MADE IN THE USA AND ARE INSTRUMENTS OF BB'S PROFESSIONAL SERVICE, AND IS THE EXCLUSIVE PROPERTY OF BB. NO DISCLOSURE, USE, REPRODUCTION, OR DUPLICATION IN WHOLE, OR IN PART, MAY |                      |                    | C          | ,)          |   |                     |                           |                                         |                                  |            |
| REPARED OR FU                                                                                                                                                                                                                             |                      |                    |            |             |   | J                   |                           |                                         | 61.1113                          |            |
| -                                                                                                                                                                                                                                         |                      | (<br>1<br>1        |            | ッパ          |   | ノ と ノ ノ             | scker.com                 | ew Drive                                | 17 - 859.26                      |            |
| IS, AND ELECTR                                                                                                                                                                                                                            |                      | (                  | C          | 5<br>)_     |   | りつ                  | www.bayerbecker.com       | 209 Grandview Drive                     | Fort Mitchell, KY 41017 - 859.26 |            |
| SPECIFICATION                                                                                                                                                                                                                             |                      |                    |            |             | 0 |                     | ×<br>                     | N                                       | Fort Mitch                       |            |
| HIS DOCUMENT AND ALL RELATED DETAIL DRAWINGS, SPECIFICATIONS, AND ELECTRONIC MEDIA                                                                                                                                                        | Drav                 | wing               | J:         |             |   |                     |                           | _                                       |                                  |            |
| RELATED DET,                                                                                                                                                                                                                              | Drav<br>Che          | cke                | d By       | /:          |   | 2                   | 22-(                      | 005                                     | 59 C                             | <u>.</u> R |
| JMENT AND ALL                                                                                                                                                                                                                             | Issu<br>She          |                    | ate:       |             |   |                     | (                         | )8-(                                    | 04-2                             | 23         |
| JOCL                                                                                                                                                                                                                                      |                      |                    |            |             | 5 | ).                  | _                         |                                         |                                  |            |

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Manhole<br>8"(SE)INV=751.86<br>8"(NW)INV=751.86<br>8"(NE)INV=751.86<br>8"(NE)INV=751.86<br>8"(NE)INV=751.86<br>8"(NE)INV=751.86<br>Annole<br>1745.56<br>11/235.56<br>11/235.56<br>11/235.56<br>11/235.56<br>11/235.56<br>11/235.56<br>11/235.56<br>11/235.56<br>11/235.56<br>11/235.56<br>11/235.56<br>11/235.56<br>11/235.56<br>11/235.56<br>11/235.56<br>11/235.56<br>11/235.56<br>11/235.56<br>11/235.56<br>11/235.56<br>11/235.56<br>11/235.56<br>11/235.56<br>11/235.56<br>11/235.56<br>11/235.56<br>11/235.56<br>11/235.56<br>11/235.56<br>11/235.56<br>11/235.56<br>11/235.56<br>11/235.56<br>11/235.56<br>11/235.56<br>11/235.56<br>11/235.56<br>11/235.56<br>11/235.56<br>11/235.56<br>11/235.56<br>11/235.56<br>11/235.56<br>11/235.56<br>11/235.56<br>11/235.56<br>11/235.56<br>11/235.56<br>11/235.56<br>11/235.56<br>11/235.56<br>11/235.56<br>11/235.56<br>11/235.56<br>11/235.56<br>11/235.56<br>11/235.56<br>11/235.56<br>11/235.56<br>11/235.56<br>11/235.56<br>11/235.56<br>11/235.56<br>11/235.56<br>11/235.56<br>11/235.56<br>11/235.56<br>11/235.56<br>11/235.56<br>11/235.56<br>11/235.56<br>11/235.56<br>11/235.56<br>11/235.56<br>11/235.56<br>11/235.56<br>11/235.56<br>11/235.56<br>11/235.56<br>11/235.56<br>11/235.56<br>11/235.56<br>11/235.56<br>11/235.56<br>11/235.56<br>11/235.56<br>11/235.56<br>11/235.56<br>11/235.56<br>11/235.56<br>11/235.56<br>11/235.56<br>11/235.56<br>11/235.56<br>11/235.56<br>11/235.56<br>11/235.56<br>11/235.56<br>11/235.56<br>11/235.56<br>11/235.56<br>11/235.56<br>11/235.56<br>11/235.56<br>11/235.56<br>11/235.56<br>11/235.56<br>11/235.56<br>11/235.56<br>11/235.56<br>11/235.56<br>11/235.56<br>11/235.56<br>11/235.56<br>11/235.56<br>11/235.56<br>11/235.56<br>11/235.56<br>11/235.56<br>11/235.56<br>11/235.56<br>11/235.56<br>11/235.56<br>11/235.56<br>11/235.56<br>11/235.56<br>11/235.56<br>11/235.56<br>11/235.56<br>11/235.56<br>11/235.56<br>11/235.56<br>11/235.56<br>11/235.56<br>11/235.56<br>11/235.56<br>11/235.56<br>11/235.56<br>11/235.56<br>11/235.56<br>11/235.56<br>11/235.56<br>11/235.56<br>11/235.56<br>11/235.56<br>11/235.56<br>11/235.56<br>11/235.56<br>11/235.56<br>11/235.56<br>11/235.56<br>11/235.56<br>11/235.56<br>11/235.56<br>11/235.56<br>11/235.56<br>11/235.56<br>11/235.56<br>11/235.56<br>11/235.56<br>11/235.56<br>11/235.56<br>11/235.56<br>11/235.56<br>11/235.56<br>11/235.56<br>11/235.56<br>11/235.56<br>11/235.56<br>11/235.56<br>11/235.56<br>11/235.56<br>11/235.56<br>11/235.56<br>11/235.56<br>11/235.56<br>11/235.56<br>11/235.56<br>11/235.56<br>11/235.56<br>11/235.56<br>11/235.56<br>11/235.56<br>11/235.56<br>11/235.56<br>11/235.56<br>11/235.56<br>11/235.56<br>11/235.56<br>11/235.56<br>11/235.56<br>1 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| 765    | PROPOSED<br>PROFILE<br>PROPOSED<br>PROFILE<br>PROFILE<br>PROFOSED<br>PROFILE<br>PROFILE<br>PROFILE                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                     | Samitary Manhok<br>Samitary Manhok<br>TRIM=758.15<br>8"(SW)INV=742.8<br>8"(SE)INV=742.42<br>Sanitary Manhole<br>TRIM=756.76                                                                                                                                                                                                                            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Manhole<br>1/RIM=759.95<br>8"(NW)INV=740.6<br>8"(SE)NV=740.6<br>8"(SE)NV=740.6<br>8"(SE)NV=740.6<br>8"(SE)NV=740.6<br>8"(SE)NV=740.6<br>8"(SE)NV=740.6<br>8"(SE)NV=740.6<br>8"(SE)NV=740.6<br>8"(SE)NV=740.6<br>8"(SE)NV=740.6<br>8"(SE)NV=740.6<br>8"(SE)NV=740.6<br>8"(SE)NV=740.6<br>8"(SE)NV=740.6<br>8"(SE)NV=740.6<br>8"(SE)NV=740.6<br>8"(SE)NV=740.6<br>8"(SE)NV=740.6<br>8"(SE)NV=740.6<br>8"(SE)NV=740.6<br>8"(SE)NV=740.6<br>8"(SE)NV=740.6<br>8"(SE)NV=740.6<br>8"(SE)NV=740.6<br>8"(SE)NV=740.6<br>8"(SE)NV=740.6<br>8"(SE)NV=740.6<br>8"(SE)NV=740.6<br>8"(SE)NV=740.6<br>8"(SE)NV=740.6<br>8"(SE)NV=740.6<br>8"(SE)NV=740.6<br>8"(SE)NV=740.6<br>8"(SE)NV=740.6<br>8"(SE)NV=740.6<br>8"(SE)NV=740.6<br>8"(SE)NV=740.6<br>8"(SE)NV=740.6<br>8"(SE)NV=740.6<br>8"(SE)NV=740.6<br>8"(SE)NV=740.6<br>8"(SE)NV=740.6<br>8"(SE)NV=740.6<br>8"(SE)NV=740.6<br>8"(SE)NV=740.6<br>8"(SE)NV=740.6<br>8"(SE)NV=740.6<br>8"(SE)NV=740.6<br>8"(SE)NV=740.6<br>8"(SE)NV=740.6<br>8"(SE)NV=740.6<br>8"(SE)NV=740.6<br>8"(SE)NV=740.6<br>8"(SE)NV=740.6<br>8"(SE)NV=740.6<br>8"(SE)NV=740.6<br>8"(SE)NV=740.6<br>8"(SE)NV=740.6<br>8"(SE)NV=740.6<br>8"(SE)NV=740.6<br>8"(SE)NV=740.6<br>8"(SE)NV=740.6<br>8"(SE)NV=740.6<br>8"(SE)NV=740.6<br>8"(SE)NV=740.6<br>8"(SE)NV=740.6<br>8"(SE)NV=740.6<br>8"(SE)NV=740.6<br>8"(SE)NV=740.6<br>8"(SE)NV=740.6<br>8"(SE)NV=740.6<br>8"(SE)NV=740.6<br>8"(SE)NV=740.6<br>8"(SE)NV=740.6<br>8"(SE)NV=740.6<br>8"(SE)NV=740.6<br>8"(SE)NV=740.6<br>8"(SE)NV=740.6<br>8"(SE)NV=740.6<br>8"(SE)NV=740.6<br>8"(SE)NV=740.6<br>8"(SE)NV=740.6<br>8"(SE)NV=740.6<br>8"(SE)NV=740.6<br>8"(SE)NV=740.6<br>8"(SE)NV=740.6<br>8"(SE)NV=740.6<br>8"(SE)NV=740.6<br>8"(SE)NV=740.6<br>8"(SE)NV=740.6<br>8"(SE)NV=740.6<br>8"(SE)NV=740.6<br>8"(SE)NV=740.6<br>8"(SE)NV=740.6<br>8"(SE)NV=740.6<br>8"(SE)NV=740.6<br>8"(SE)NV=740.6<br>8"(SE)NV=740.6<br>8"(SE)NV=740.6<br>8"(SE)NV=740.6<br>8"(SE)NV=740.6<br>8"(SE)NV=740.6<br>8"(SE)NV=740.6<br>8"(SE)NV=740.6<br>8"(SE)NV=740.6<br>8"(SE)NV=740.6<br>8"(SE)NV=740.6<br>8"(SE)NV=740.6<br>8"(SE)NV=740.6<br>8"(SE)NV=740.6<br>8"(SE)NV=740.6<br>8"(SE)NV=740.6<br>8"(SE)NV=740.6<br>8"(SE)NV=740.6<br>8"(SE)NV=740.6<br>8"(SE)NV=740.6<br>8"(SE)NV=740.6<br>8"(SE)NV=740.6<br>8"(SE)NV=740.6<br>8"(SE)NV=740.6<br>8"(SE)NV=740.6<br>8"(SE)NV=740.6<br>8"(SE)NV=740.6<br>8"(SE)NV=740.68"(SE)NV=740.6<br>8"(SE)NV=740.68"(SE)NV=740.68"(SE)NV=740.68"(SE)NV=740.68"(SE)NV=740.68"(SE)NV=740.68"(SE)NV=740.68"(SE)NV=740.68"(SE 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| 650    | Image: Second state in the second s                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                        |                                                                                                                                                                                                                                                                                                                                  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| 645    | Image: Second state in the second s                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                        |                                                                                                                                                                                                                                                                                                                                  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| 640    | Image: Sector                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                        |                                                                                                                                                                                                                                                                                                                                                        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| 635    | Image: Sector of the sector                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                        |                                                                                                                                                                                                                                                                                                                                          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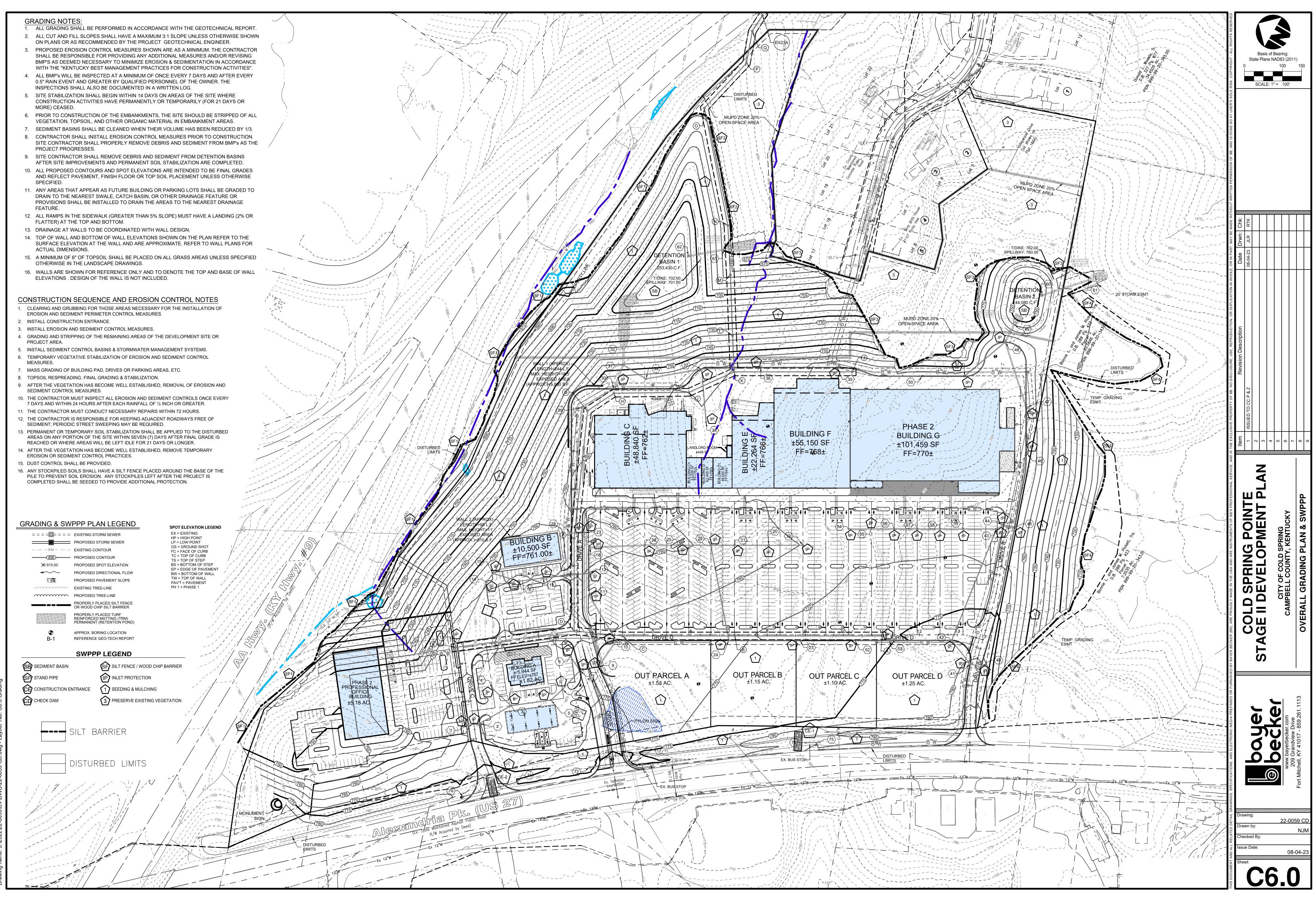


THE LOCATION OF THE UNDERGROUND UTILITIES SHOWN HAVE BEEN OBTAINED BY FIELD CHECKS AND INFORMATION PROVIDED BY THE UTILITY COMPANIES. IT IS BELIEVED THAT THEY ARE CORRECT BUT THE PREPARER DOES NOT GUARANTEE THE ACCURACY OR COMPLETENESS. THEREFORE, ALL UNDERGROUND UTILITIES SHALL BE FIELD LOCATED PRIOR TO CONSTRUCTION. FOR MORE INFORMATION USE NUMBER SHOWN.

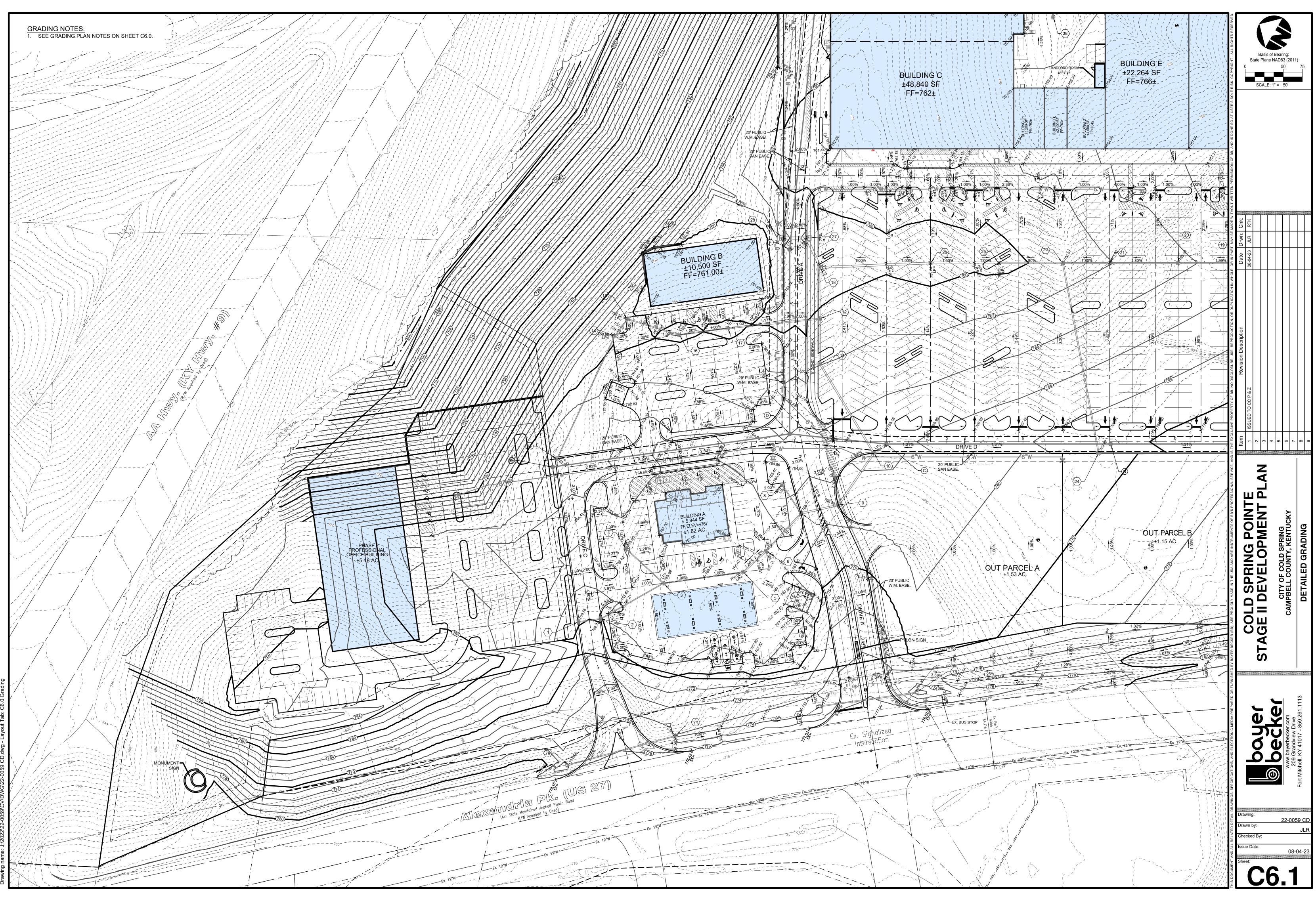
All above ground features have been field located. All buried utilities have been shown based upon field evidence, project utility plans, and/or information obtained from utility companies. The utilities shown may or may not be shown in their actual location. Other buried utilities might exist on the subject property which are not shown on this drawing.

- **BURIED UTILITIES NOTE:**
- 4. SEE SHEET C4.0 FOR SANITARY SEWER NOTES.
- ELEVATIONS VARY BASED ON PIPE SLOPE. PIPE LENGTHS AND SLOPES ARE BASED ON CENTER OF STRUCTURE TO CENTER OF STRUCTURE LENGTHS.
- 2. ALL STRUCTURE ELEVATIONS SHOWN ARE AT THE CENTER OF STRUCTURE, WALL OPENING
- UTILITY NOTES: 1. ALL STORM SEWERS AS SHOWN ARE PRIVATE UNLESS OTHERWISE SHOWN.

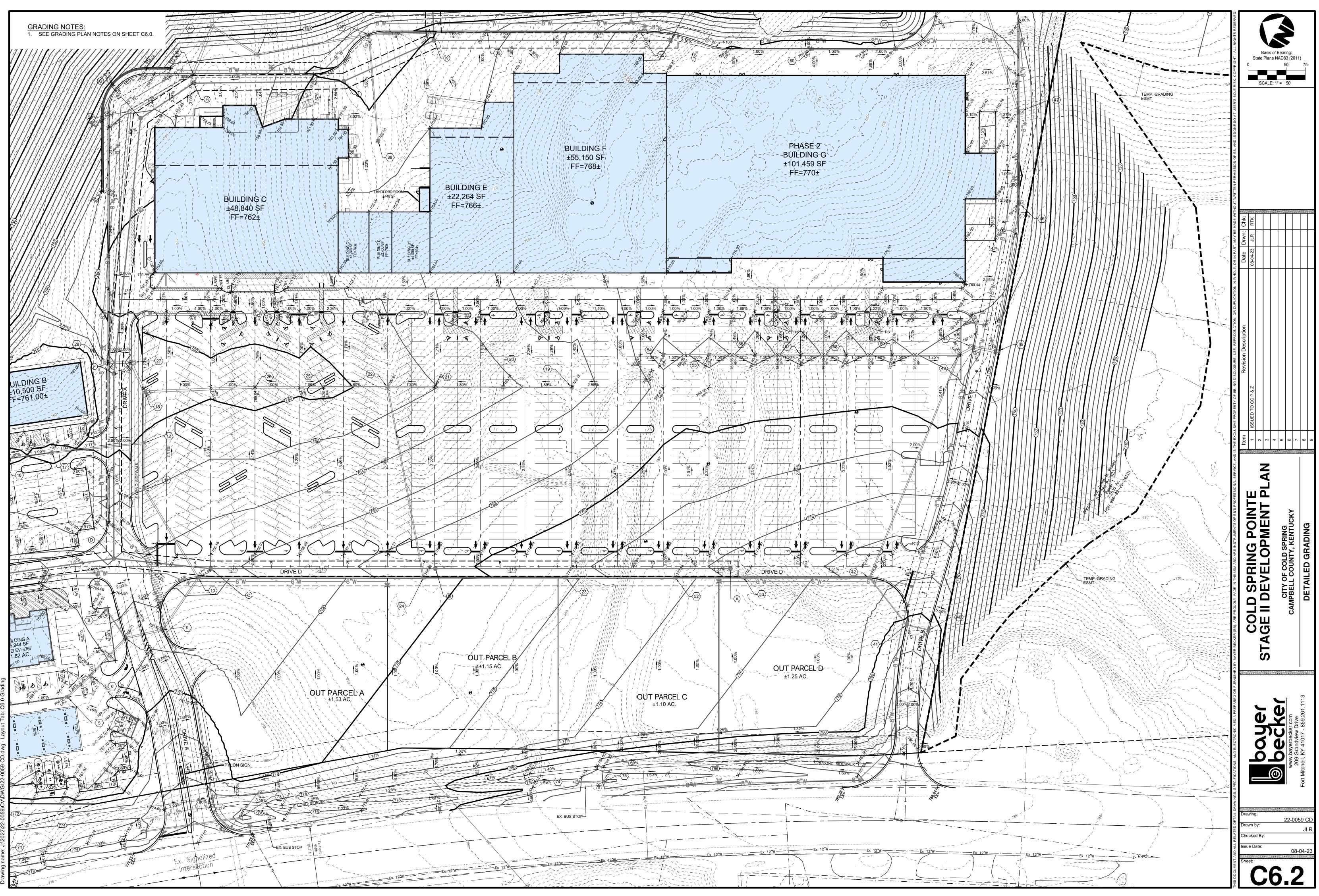
| RISK. COPYRIGHT - ALL RIGHTS RESEF                                                                                                                                                               |                      |                    |         |         |              |                     |                            |                     |                                        |          |
|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------------------|--------------------|---------|---------|--------------|---------------------|----------------------------|---------------------|----------------------------------------|----------|
| RT, MAY BE MADE WITHOUT WRITTEN PERMISSION OF BB, AND IS DONE SO AT USER'S SOLE RISK. COPYRIGHT - ALL RIGHTS RESERVEI                                                                            | C<br>1<br>1          | "<br>"             | ) A<br> | 5<br>1  | _E<br>0<br>0 | ,<br>,              | -<br> \                    | <u>E</u>            | DF<br>[R                               |          |
| MAY BE MAD                                                                                                                                                                                       | orwn: Cł             | JLR R              |         |         |              |                     |                            |                     |                                        |          |
|                                                                                                                                                                                                  | Date D               | 08-04-23           |         |         |              |                     |                            |                     |                                        |          |
| ONAL SERVICE, AND IS THE EXCLUSIVE PROPERTY OF BB. NO DISCLOSURE, USE, REPRODUCTION, OR DUPLICATION IN WHOLE, OR IN PI                                                                           | Revision Description | ISSUED TO CC P & Z |         |         |              |                     |                            |                     |                                        |          |
| THE EXCLU:                                                                                                                                                                                       | ltem                 | 1                  | 2       | 3       | 4            | 5                   | 9                          | 7                   | 8                                      | 6        |
| SSIONAL SERVICE, AND                                                                                                                                                                             |                      |                    |         | NI FLAN |              |                     | KY.                        |                     |                                        |          |
| 'ISHED BY BAYER BECKER (BB), ARE PROUDLY MADE IN THE USA AND ARE INSTRUMENTS OF BB'S PROFE                                                                                                       |                      | COLD SPRING POINT  |         |         |              | CITV OF COLD SPRING | CAMPREI I COUNTY KENTIICKY |                     |                                        |          |
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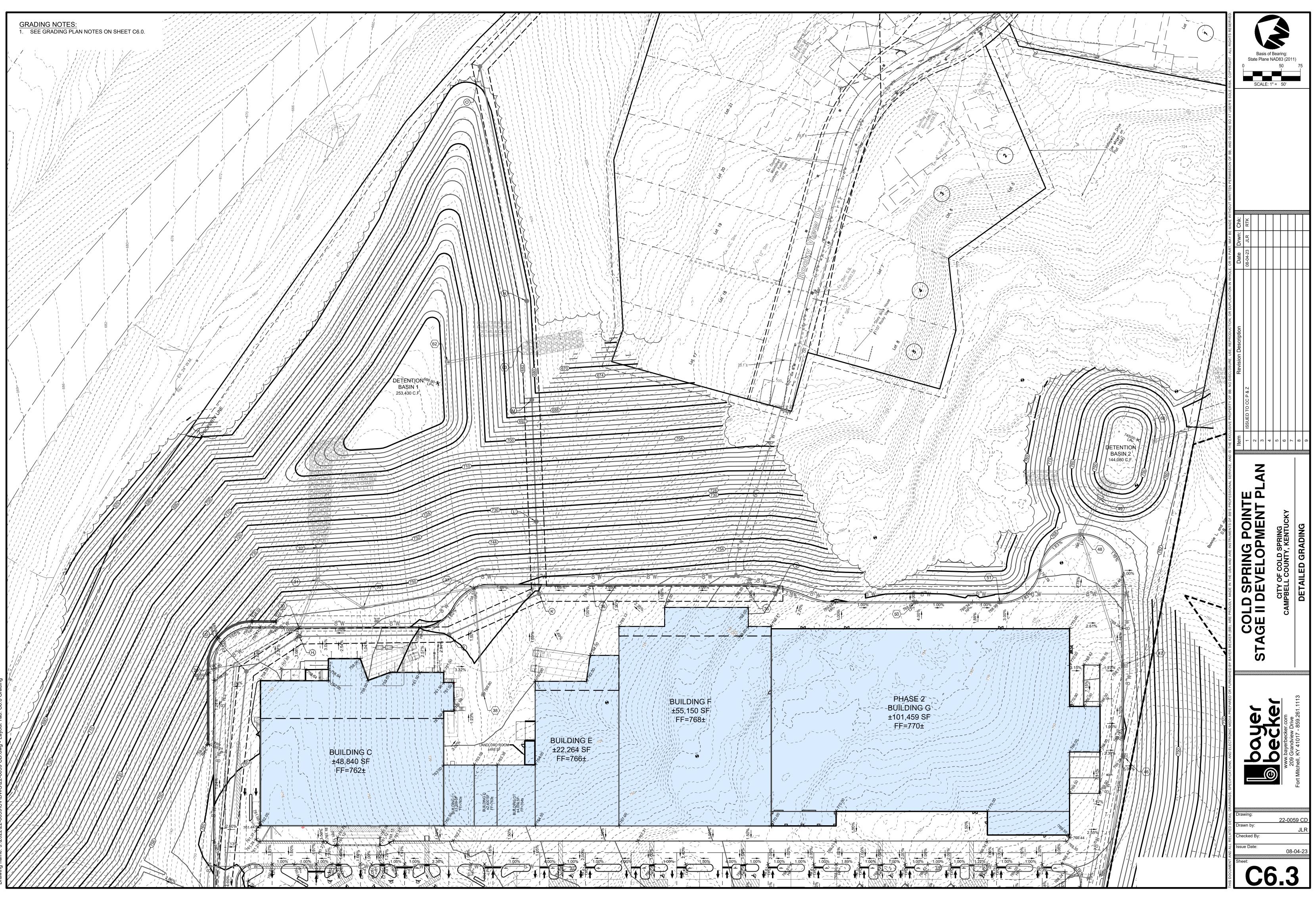


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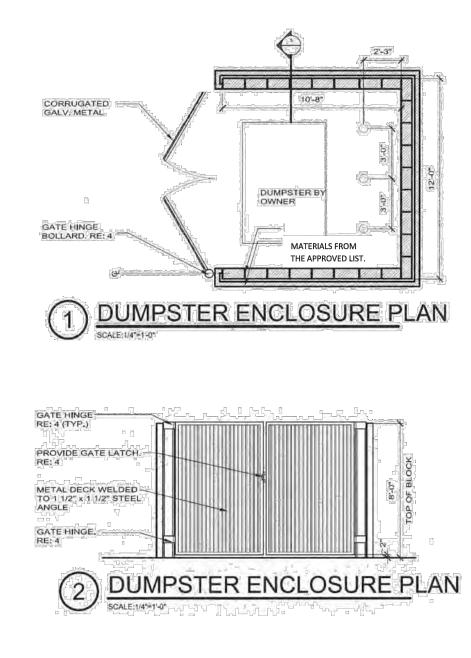


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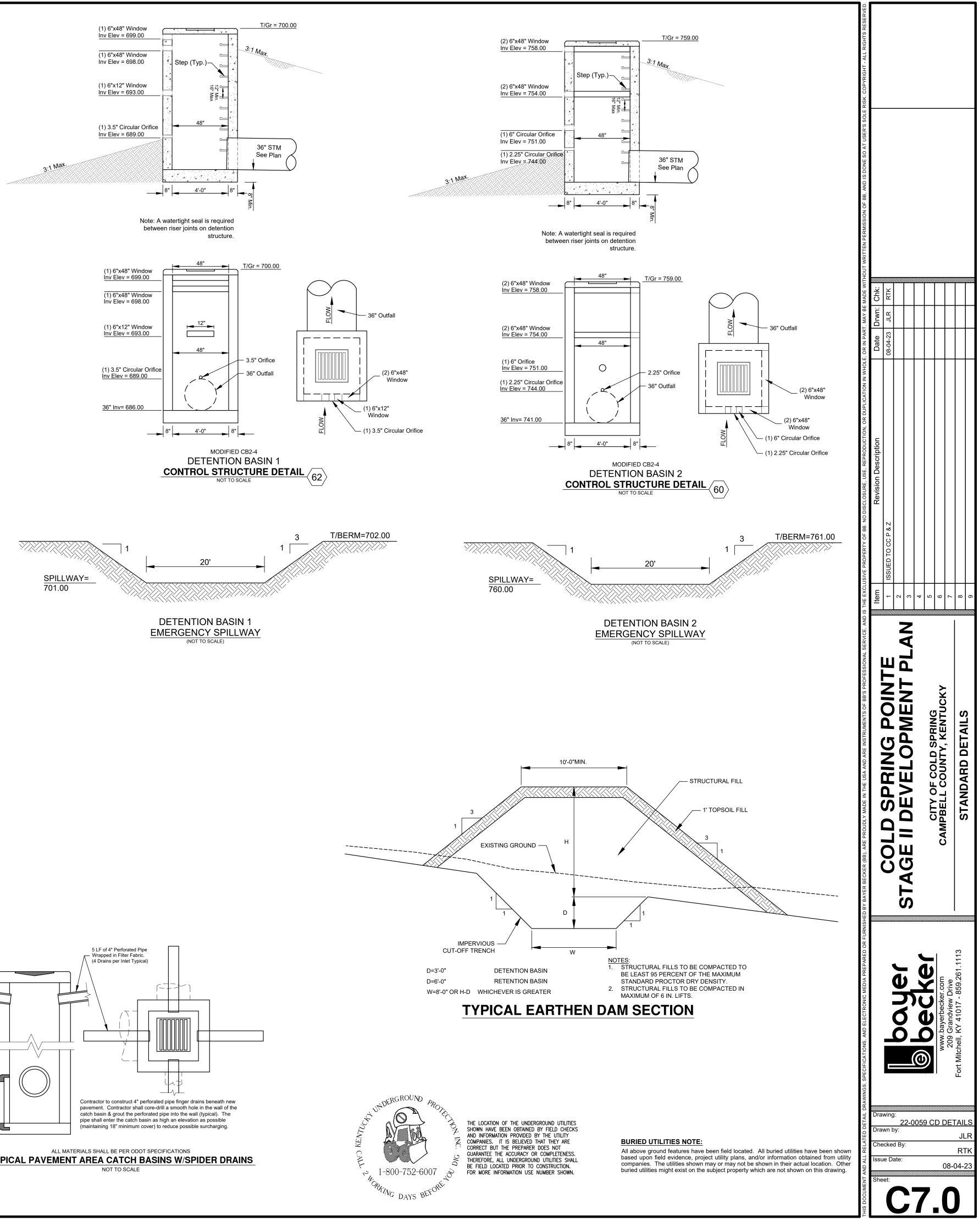


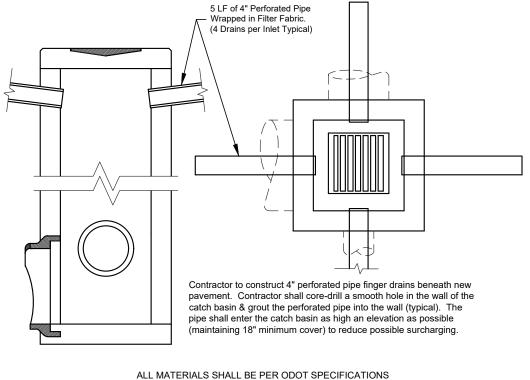


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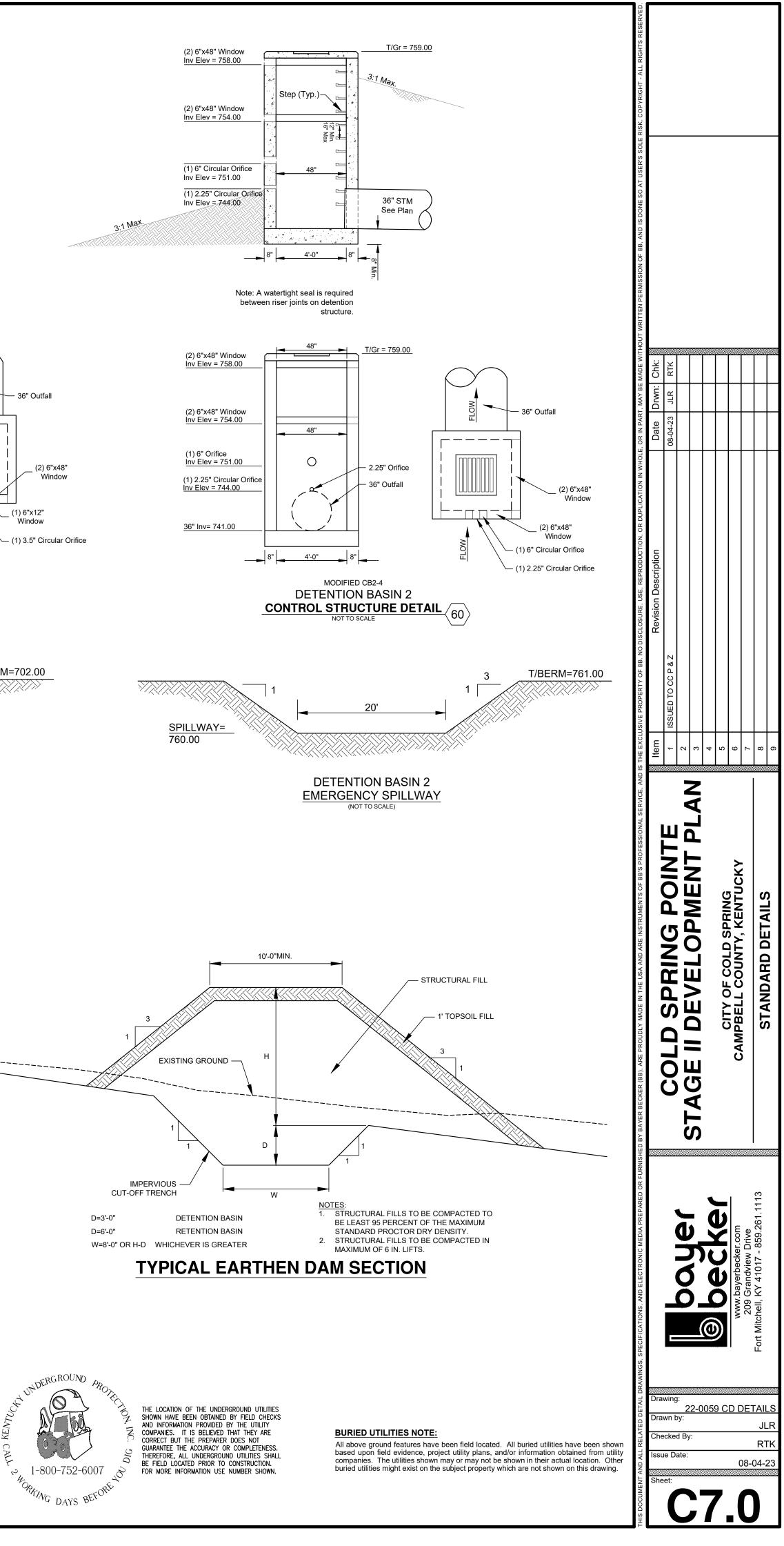


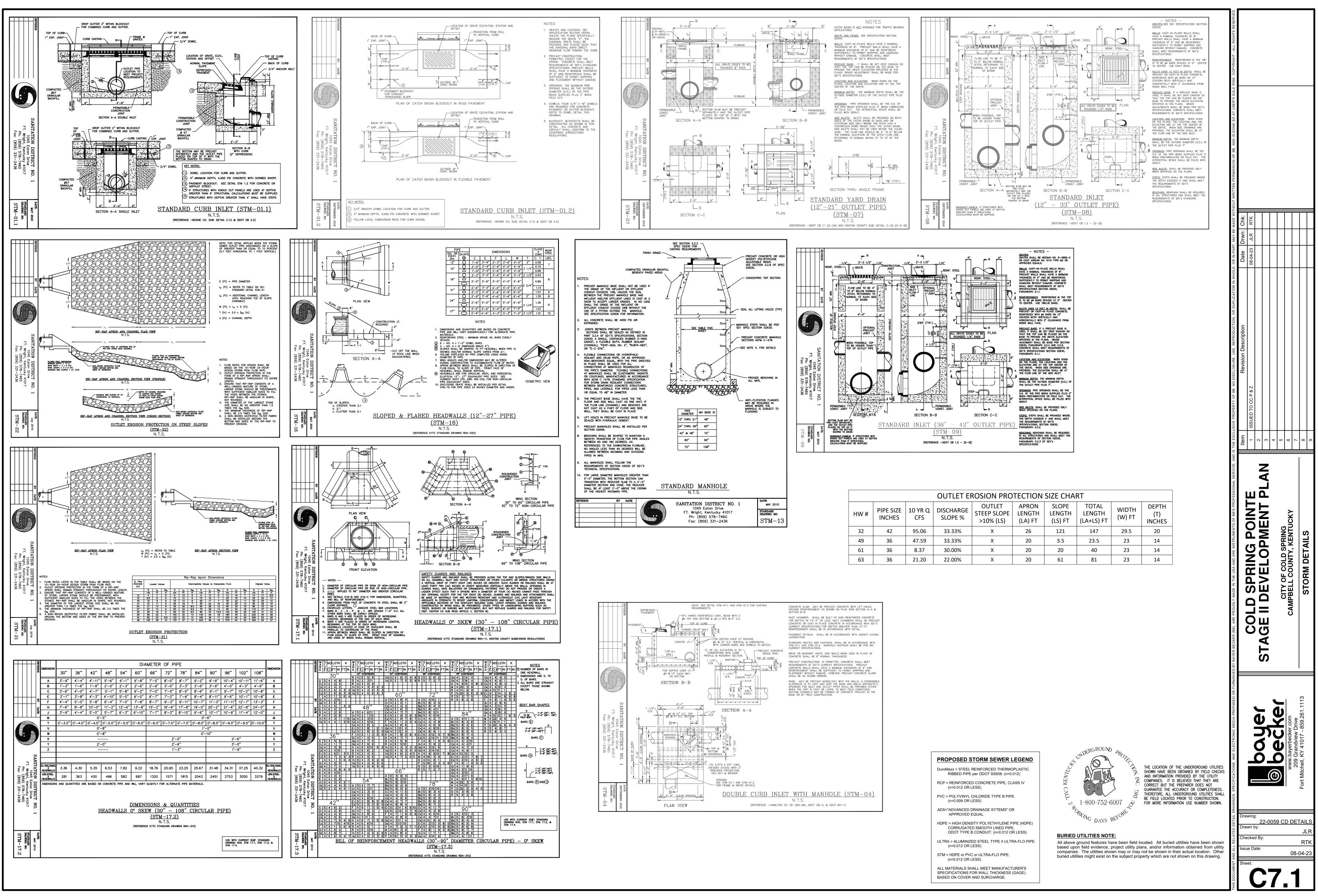
NOTE: DUMPSTER AND ENCLOSURES TO BE SIZED PER INDIVIDUAL BUILDINGS **DUMPSTER ENCLOSURE DETAIL** 



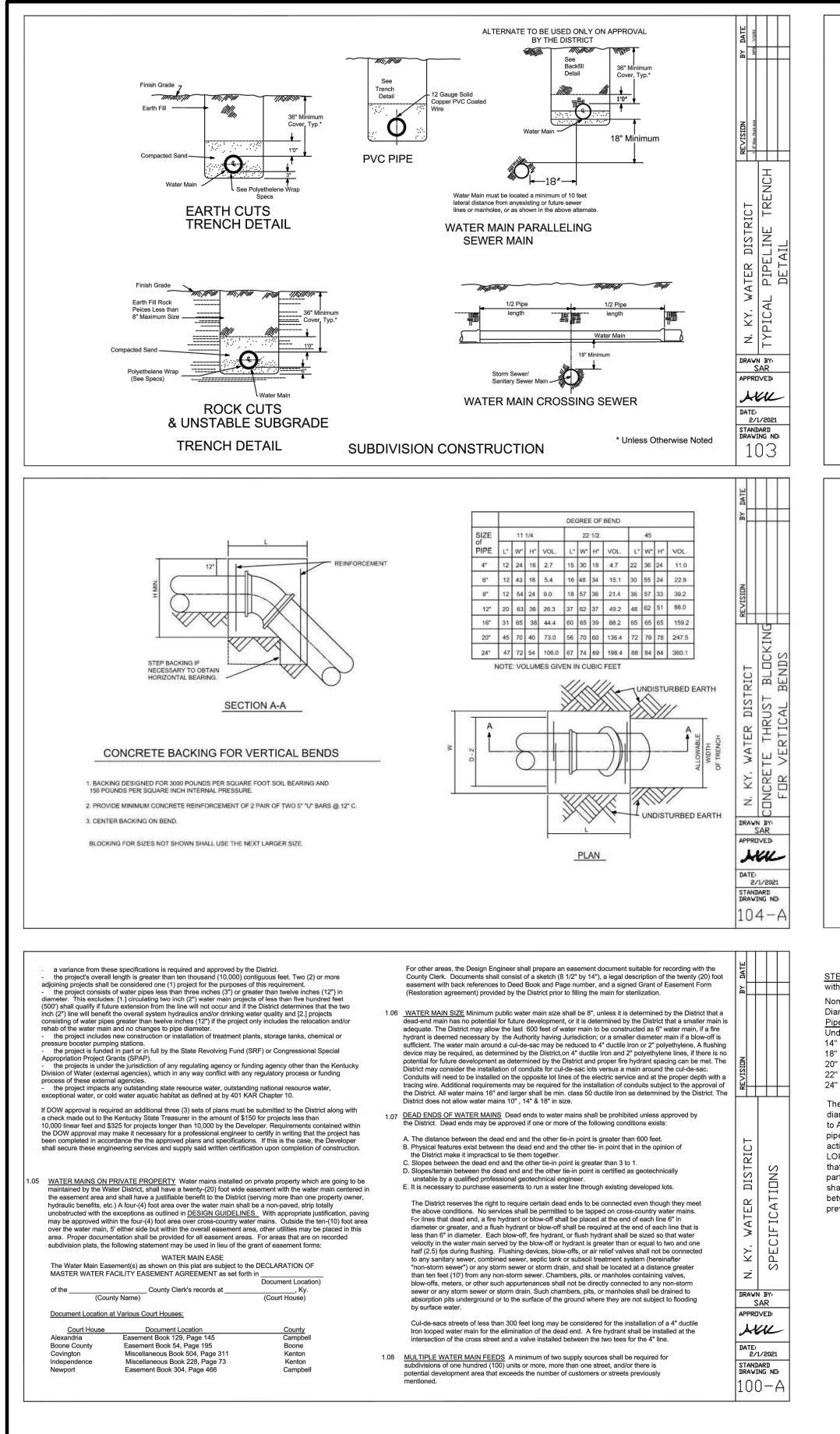


**TYPICAL PAVEMENT AREA CATCH BASINS W/SPIDER DRAINS** 

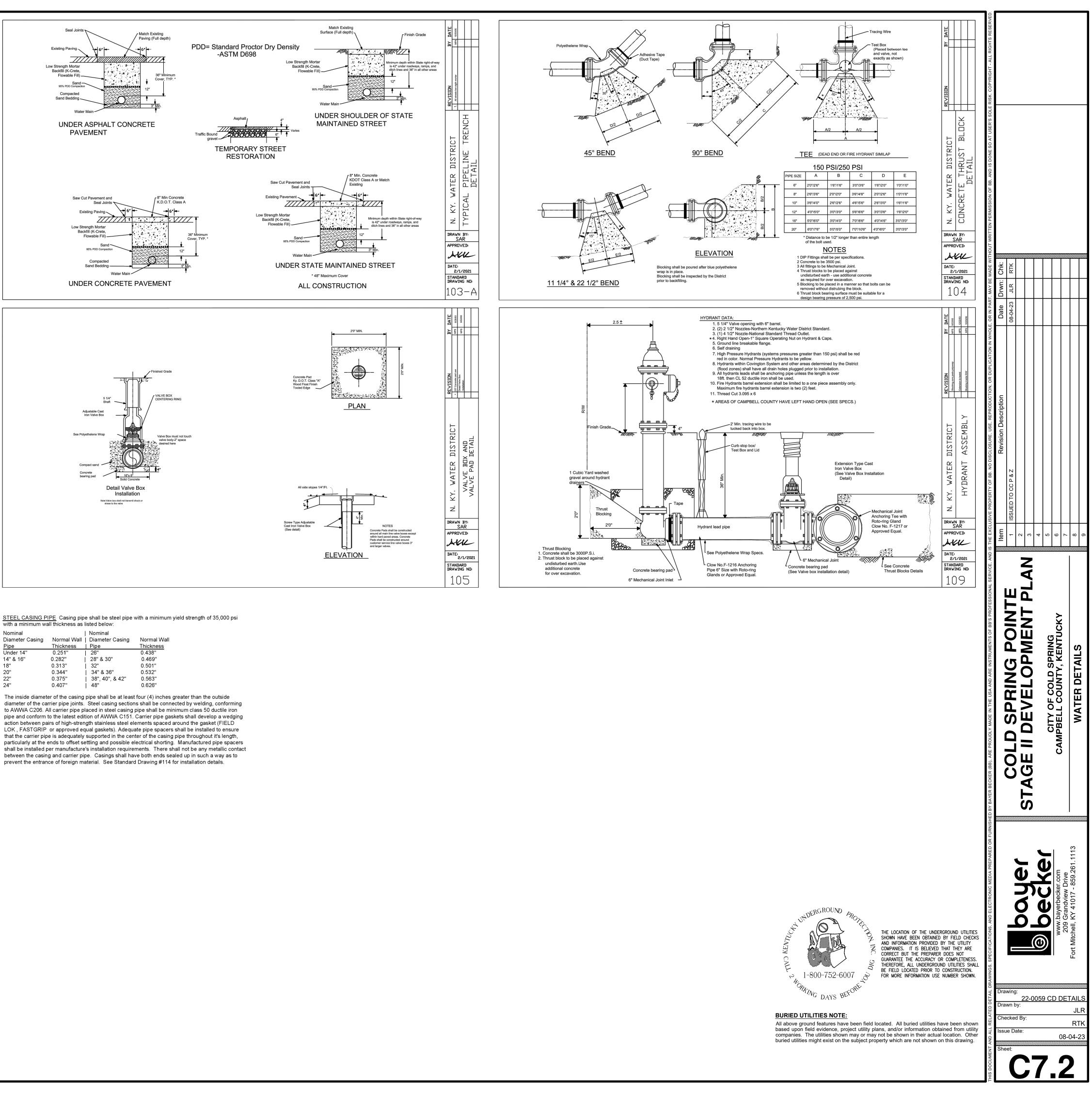




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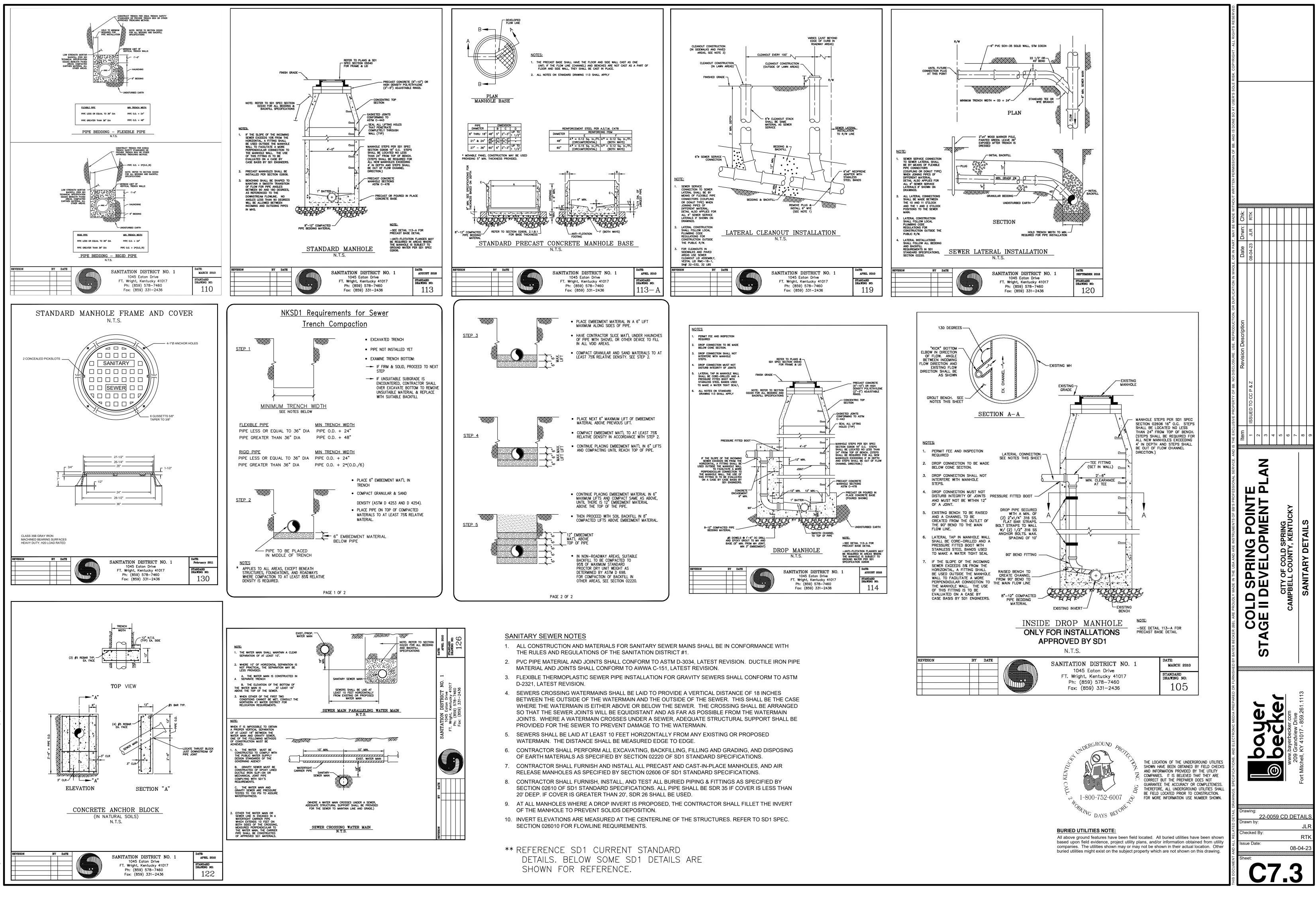


STEEL CASING PIPE Casing pipe shall be steel pipe with a minimum yield strength of 35,000 psi

| with a minimum wall | thickness as listed below | V: |
|---------------------|---------------------------|----|
| Nominal             | l Nominal                 |    |

| Nominal         |             | L  | Nominal         |             |
|-----------------|-------------|----|-----------------|-------------|
| Diameter Casing | Normal Wall | L  | Diameter Casing | Normal Wall |
| Pipe            | Thickness   |    | Pipe            | Thickness   |
| Under 14"       | 0.251"      |    | 26"             | 0.438"      |
| 14" & 16"       | 0.282"      | 1  | 28" & 30"       | 0.469"      |
| 18"             | 0.313"      | L  | 32"             | 0.501"      |
| 20"             | 0.344"      | L  | 34" & 36"       | 0.532"      |
| 22"             | 0.375"      | I. | 38", 40", & 42" | 0.563"      |
| 24"             | 0.407"      | L  | 48"             | 0.626"      |
|                 |             |    |                 |             |

diameter of the carrier pipe joints. Steel casing sections shall be connected by welding, conforming to AWWA C206. All carrier pipe placed in steel casing pipe shall be minimum class 50 ductile iron pipe and conform to the latest edition of AWWA C151. Carrier pipe gaskets shall develop a wedging action between pairs of high-strength stainless steel elements spaced around the gasket (FIELD LOK, FASTGRIP or approved equal gaskets). Adequate pipe spacers shall be installed to ensure that the carrier pipe is adequately supported in the center of the casing pipe throughout it's length, particularly at the ends to offset settling and possible electrical shorting. Manufactured pipe spacers shall be installed per manufacture's installation requirements. There shall not be any metallic contact between the casing and carrier pipe. Casings shall have both ends sealed up in such a way as to



# INLET PROTECTION IN SWALES, DITCH LINES OR YARD INLETS (P)

- Inlet protection shall be constructed either before upslope land disturbance begins or before the storm drain becomes operational.
- The earth around the inlet shall be excavated completely to the depth at least 18in. 3. The wooden frame shall be constructed of 2-by-4-in. construction grade lumber. The 2-by-4-in. posts shall be driven 1 ft. into the ground at four corners of the inlet and the top portion of
- 2-by-4-in. frame assembled using the overlap joint shown. The top of the frame shall be at least 6 in. below adjacent roads if ponded water would pose a safety hazard to traffic. Wire mesh shall be of sufficient strength to support fabric with water fully impounded against it.
- It shall be stretched tightly around the frame and fastened securely to the frame. Geotextile shall have an equivalent opening size of 20-40 sieve and be resistant to sunlight. It shall be stretched tightly around the frame and fastened securely. It shall extend from the top of the frame to 18 in. below the inlet notch elevation. The geotextile shall overlap across one side of the inlet so the ends of the cloth are not fastened to the same post.
- Backfill shall be placed around the inlet in compacted 6-in. layers until the earth is even with 6 notch elevation on ends and top elevation on sides.
- A compacted earth dike or a check dam shall be constructed in the ditch line below the inlet if the inlet is not in a depression and if runoff bypassing the inlet will not flow to a setting pond. The top of earth dikes shall be at least 6 in. higher than the top of the frame.
- Stone Size Two-inch stone shall be used, or recycled concrete equivalent Length - The construction entrance shall be as long as required to stabilize high traffic areas but not less than 70 ft. (except on single residence lot where a 30-ft. minimum length applies)
- Thickness The stone layer shall be at least 6 in. thick.
- Width The entrance shall be at least 10 ft. wide, but not less than the full width at points where ingress or egress occurs.
- Bedding A geotextile shall be placed over the entire area prior to placing stone. It shall have a Grab Tensile Strength of at least 200 lb. and a Mullen Burst Strength of at least 190 lb.
- Culvert A pipe or culvert shall be constructed under the entrance if needed to 6. prevent surface water flowing across the entrance from being directed out onto paved surfaces.
- Water Bar A water bar shall be constructed as part of the construction entrance if needed to prevent surface runoff from flowing the length of the construction entrance and out onto paved surfaces.
- Maintenance Top dressing of additional stone shall be applied as conditions demand. Mud spilled, dropped, washed or tracked onto public roads, or any surfaces where runoff is not checked by sediment controls, shall be removed immediately. Removal shall be accomplished by scraping or sweeping.
- Construction entrances shall not be relied upon to remove mud fro vehicles and prevent off-site tracking. Vehicles that enter and leave the construction-site shall be restricted from muddy areas.

# CHECK DAM

- The check dam shall be constructed of 4-8-in.-diameter stone, placed so that it 1 completely covers the width of the channel.
- The top of the check dam shall be constructed so that the center is approximately 6 in. lower than the outer edges, so water will flow across the center and not around the ends
- The maximum height of the check dam at the center of the weir shall not exceed 3 ft. Spacing between dams shall be as shown in the plans or by the following table:

| Check Dam Spacing |               |         |          |          |  |  |  |  |  |
|-------------------|---------------|---------|----------|----------|--|--|--|--|--|
| Dam Height        | Channel Slope |         |          |          |  |  |  |  |  |
| (ft.)             | < 5%          | 5 - 10% | 10 - 15% | 15 - 20% |  |  |  |  |  |
|                   | 65ft          | 30ft    | 20ft     | 15ft     |  |  |  |  |  |
| 2                 | 130ft         | 65ft    | 40ft     | 30ft     |  |  |  |  |  |
| 3                 | 200ft         | 100ft   | 65ft     | 50ft     |  |  |  |  |  |

## WOOD CHIP SILT BARRIER

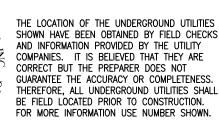
INSTALLATION NOTES AND SPECIFICATIONS FOR MULCH BERM:

- Mulch berm should be placed along a level contour so that it will not channel runoff
- and create concentrated flows.
- 2. Upland drainage limitations (sheet flow)

### Design Criteria:

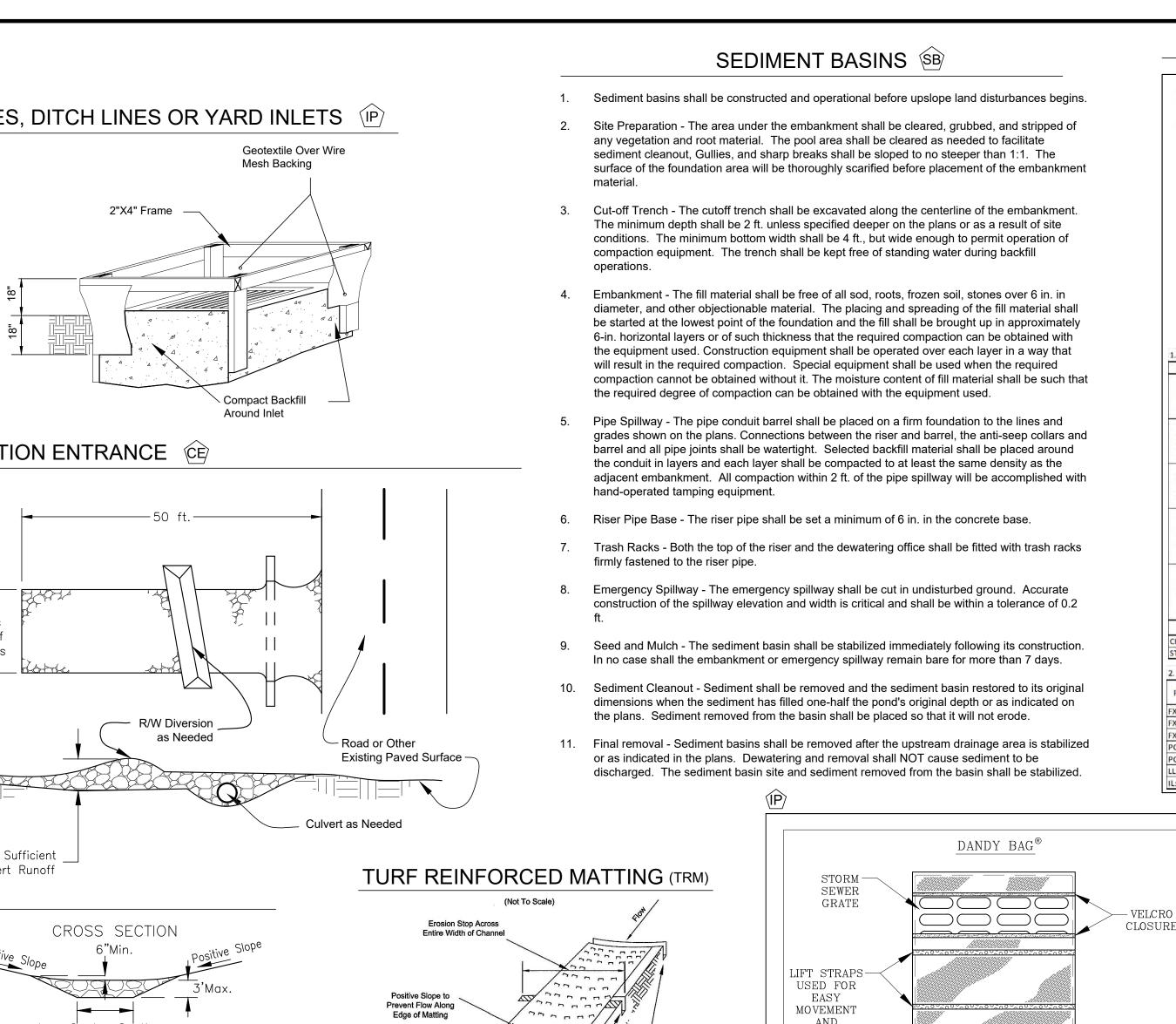
- particle sizes (99% passing 1 inch sieve etc.) - moisture content
- no less than 70% organdies
- 4. Planning considerations: most effective when combined with vegetated buffer.



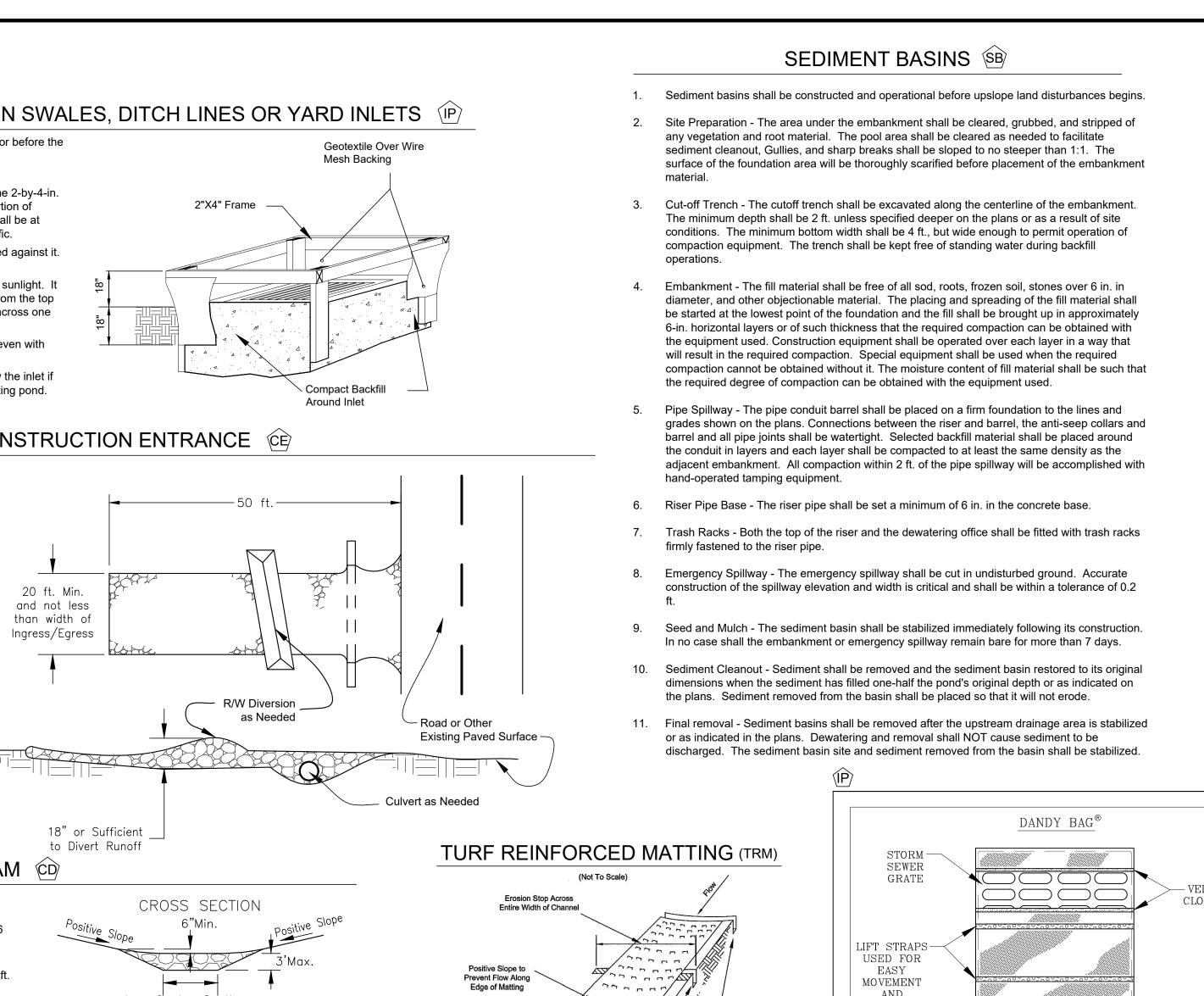


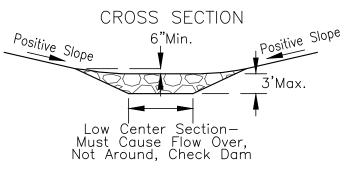
## BURIED UTILITIES NOTE

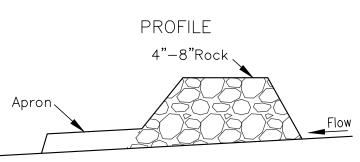
All above ground features have been field located. All buried utilities have been shown based upon field evidence, project utility plans, and/or information obtained from utility companies. The utilities shown may or may not be shown in their actual location. Other buried utilities might exist on the subject property which are not shown on this drawing.

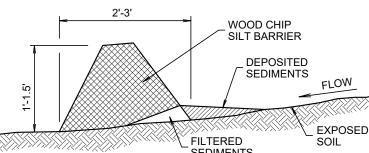


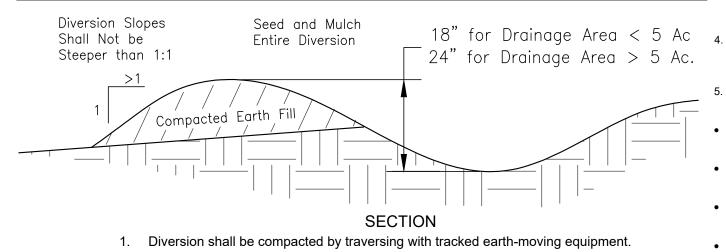




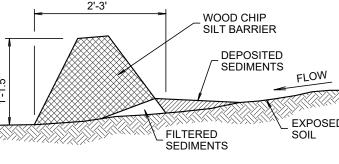


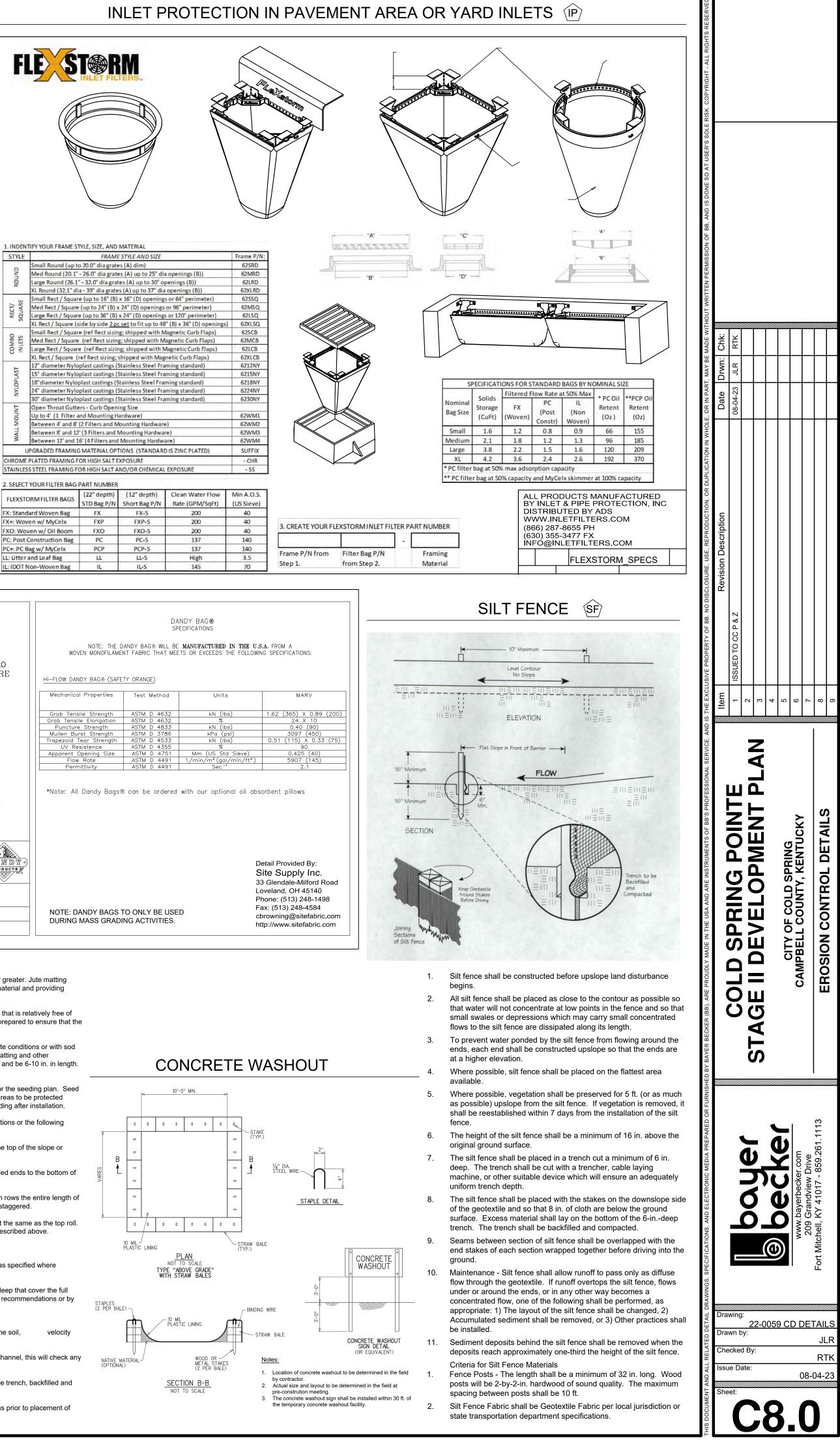






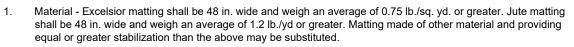
2. Diversions shall not be breached or lowered to allow constructed traffic to cross; instead the top width may be made wider and side slopes made flatter than specified above. 3. Diversions shall be stabilized with vegetation and check dams or the following treatments: Diversion Slope 0-3% 3-5% 5-8%



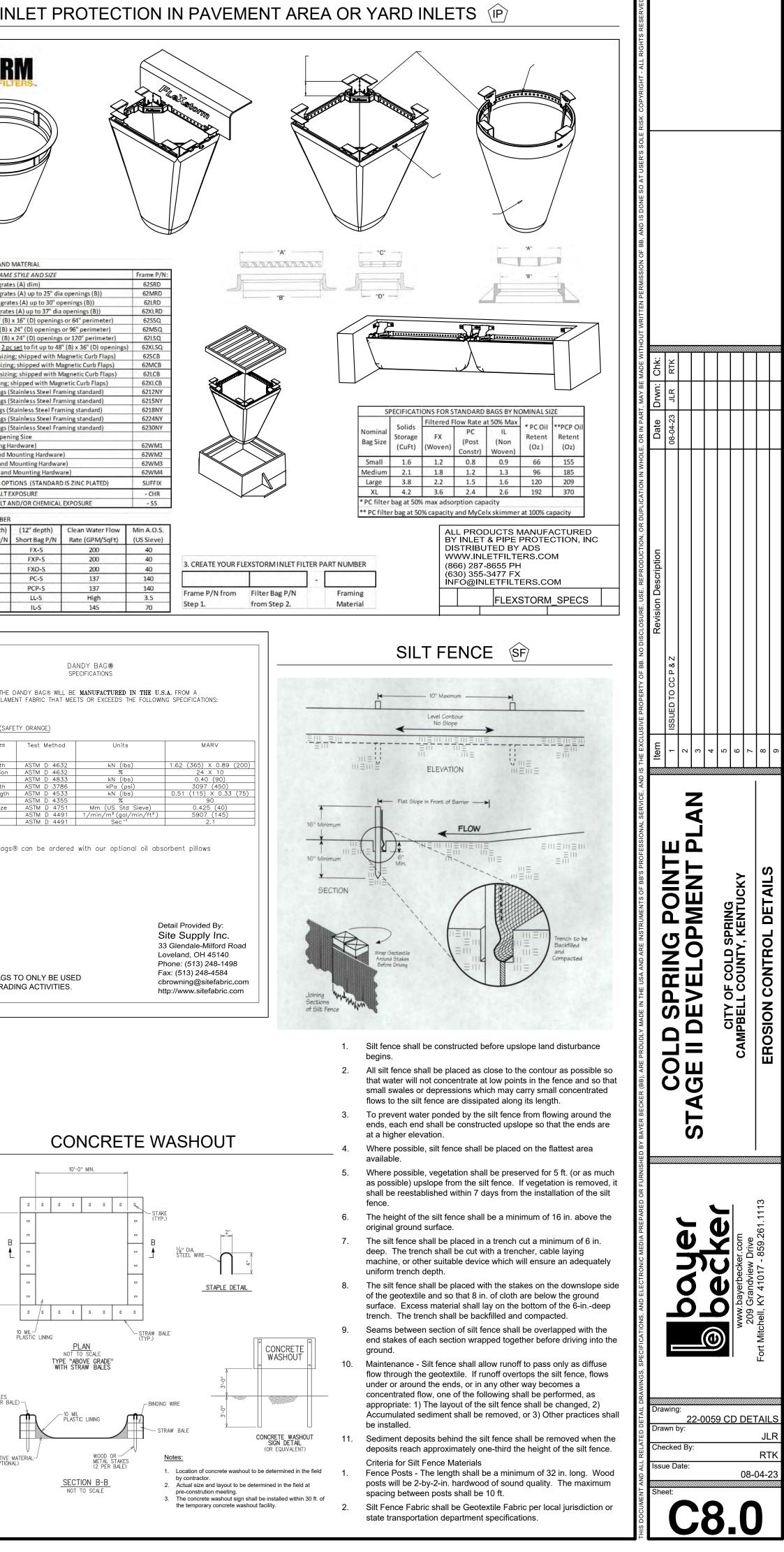


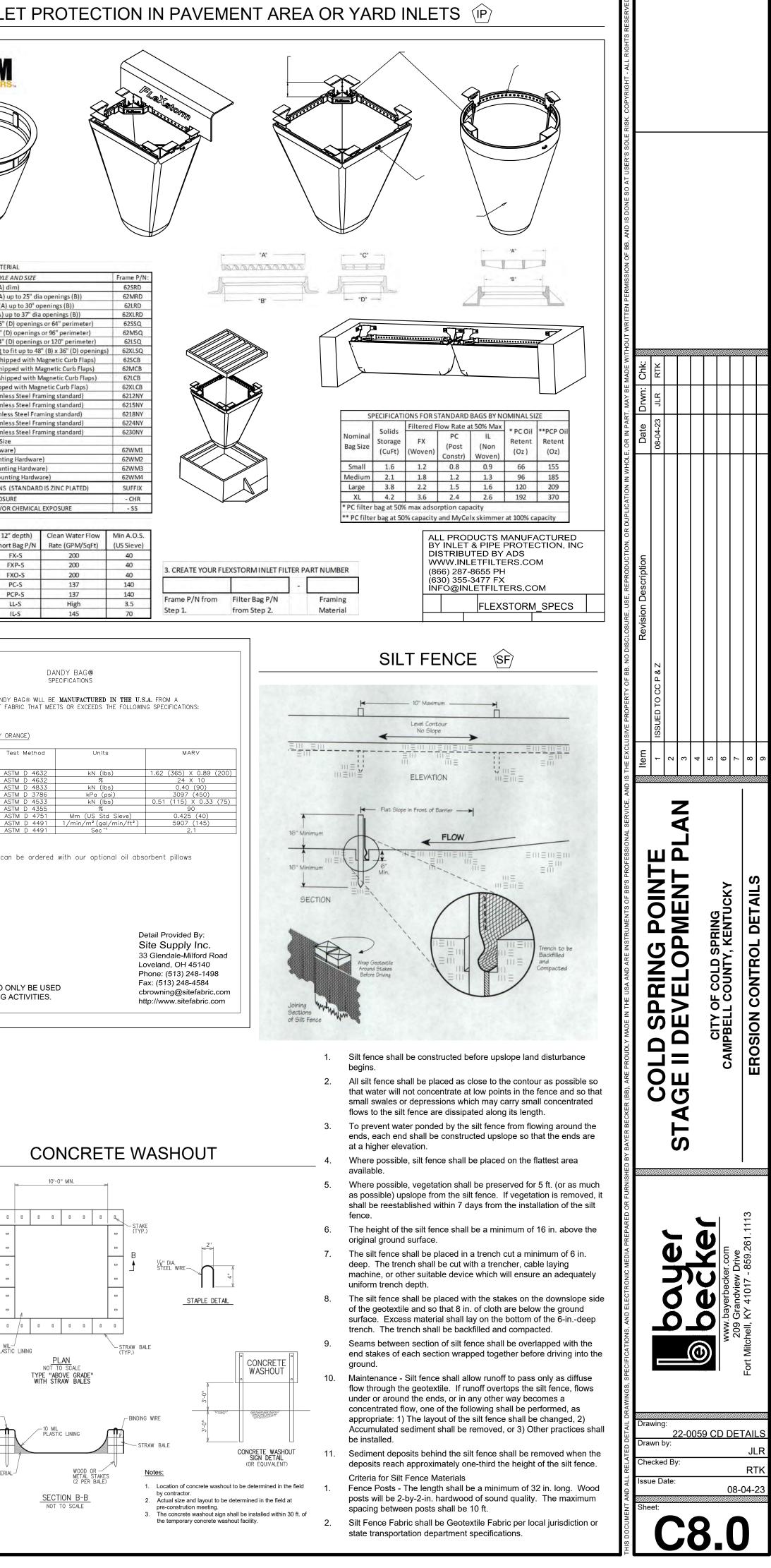
| HI-FLOW DANDY BAG® (SAFE | TY ORANGE)  |
|--------------------------|-------------|
| Mechanical Properties    | Test Method |
| Grab Tensile Strength    | ASTM D 4632 |
| Grab Tensile Elongation  | ASTM D 4632 |
| Puncture Strength        | ASTM D 4833 |
| Mullen Burst Strength    | ASTM D 3786 |
| Trapezoid Tear Strength  | ASTM D 4533 |
| UV Resistence            | ASTM D 4355 |
| Apparent Opening Size    | ASTM D 4751 |
| Flow Rate                | ASTM D 4491 |
| Permittivity             | ASTM D 4491 |

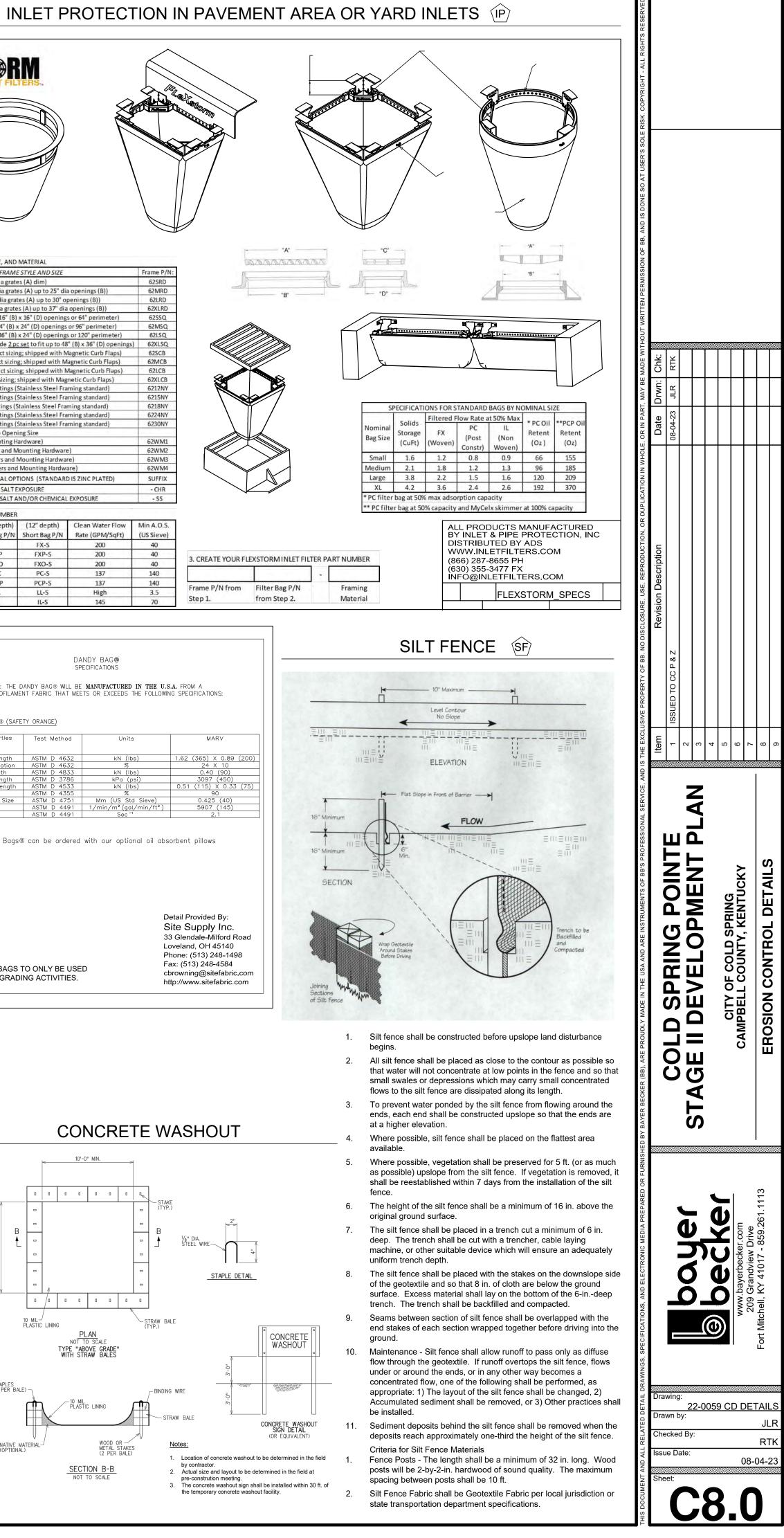
| NOTE: DANDY BAGS TO ONLY BE US<br>DURING MASS GRADING ACTIVITIES |  |
|------------------------------------------------------------------|--|



- 2. Site Preparation After the site has been shaped the graded, a seedbed shall be prepared that is relatively free of foreign material, clods or rocks that are greater than 1.5 in. in diameter. The site shall be prepared to ensure that the matting has good soil contact and the matting will not "bridge" or "tent" over obstructions.
- 3. Matting shall be held in place as recommended by the manufacturer as adequate for the site conditions or with sod staples. Sod staples are U-shaped wire staples used for fastening sod, jute or excelsior matting and other erosion-control materials to the soil surface. Sod staples shall be No. 11 gauge or heavier and be 6-10 in. in length. In loose or sandy soils longer staples shall be used.
- Planting Lime and fertilizer shall be used according to the recommendation of a soil test or the seeding plan. Seed according to the matting manufacturer's recommendations; or for excelsior matting, seed areas to be protected before installation; or, when using jute matting, apply half the seed before and half the seeding after installation. Matting shall be installed as specified by the manufacturer as appropriate for the site conditions or the following
- procedure may be used: After the site is prepared and erosion stops are installed, start laying the mat from the top of the slope or
- channel and unroll the matting allowing 4-in. overlaps at the edges. Secure the matting by burying the top ends in a trench 6 in. deep and staple the folded ends to the bottom of the trench. Backfill and tamp firmly to the established grade.
- Staple matting every 12 in. across the width beginning at the edges and every 2 ft. in rows the entire length of the matting. Every other row of staples running the length of the matting should be staggered.
- To join two rolls together, cut a trench to anchor the end of the new roll and secure it the same as the top roll. Overlap the end of the previous roll 18 in. over the new roll. Continue to staple as described above.
- When using excelsior matting, the plastic netting shall be on top of the wood fiber. 6. Erosion stops shall be used where recommended by the matting manufacturer and on areas specified where high-erosion potential may cause undermining and gullies to form beneath the matting.
- Erosion stops shall be made of stripe of matting placed in narrow trenches 6-12 in. deep that cover the full cross section of the channel. They shall be spaced according to the manufacturer's recommendations or by the following - 3 ft. down the channel from each point of entry of concentrated flow,
  - at points where change in gradient or direction of channel occurs, and - on long slopes at spacing from 20-100 ft. depending upon the erodibility of the soil,
- and volume of flow. Erosion stops shall extend beyond the channel linger to the full design width of the channel, this will check any
- rills that might form outside or along the edge of the channel lining. Erosion stops shall be constructed with 6 in. deep trench, stapled to the bottom of the trench, backfilled and
- tamped firmly to conform with the cross section of the channel.
- If seeding has been done prior to installation of erosion stops, reseed disturbed areas prior to placement of channel liner







Staple Every Outside

Edge Every 2 Feet

# TEMPORARY DIVERSION

| Diversion Slope | < 2 Ac.        | < 2-5 Ac.      | < 5-10 Ac.     |
|-----------------|----------------|----------------|----------------|
| 0-3%            | Seed and Straw | Seed and Straw | Seed and Straw |
| 3-5%            | Seed and Straw | Seed and Straw | Matting        |
| 5-8%            | Seed and Straw | Matting        | Matting        |
| 8-20%           | Seed and Straw | Matting        | Engineered     |

Seed, straw and matting used shall meet the Specifications for Temporary Seeding, Mulching, and

- CLOSURE AND INSPECTION OF UNIT STORM DANDY BAG® SEWER GRATE DETAIL OF INLET SEDIMENT CONTROL DEVICE PROJECT: DR. BY: CITY/STATE DATE: DR. NO:

### PERMANENT SEEDING $\langle 1 \rangle$

### Permanent seeding includes the seedbed preparation, seeding, and the establishment of perennial vegetation used to permanently stabilize soil, prevent sediment pollution, reduce runoff by promoting infiltration, and provide storm water quality benefits offered by dense vegetation.

CONDITIONS WHERE PRACTICE APPLIES

- Permanent seeding should be applied to:
  - \* Areas or portions of construction-sites which can be brought to final grade. Applications of permanent seeding should not be delayed while construction on limited portions of the site being completed.

Areas on that will be regraded, but will be dormant for a year or more.

PLANNING CONSIDERATIONS

Healthy dense turf will have a dramatic long lasting effect on stormwater quality as well as promoting infiltration and reducing the amount of runoff. To establish quality vegetation, careful preparation of the seedbed, soil, even subsoil is highly encouraged.

Soil Compaction--Stormwater quality and the amount of runoff both vary significantly with soil compaction.

- Non-compacted soils improve stormwater by promoting:
- dense vegetation. high infiltration & lower runoff rates.
- pollutant filtration, deposition & absorption, and
- beneficial biologic activity in the soil.

Construction activity can cause highly compacted soils but also offers the opportunity to improve soil condition. The best time for improving soil condition is during the establishment of permanent vegetation. It is highly recommended that subsoilers, plows or others implements be specified as part of final seedbed preparation. Use discretion in slip-prone areas.

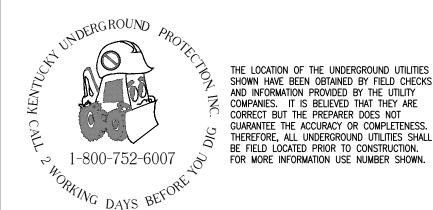
Minimum Soil Conditions--Vegetation cannot be expected to stabilize soil that is unstable due to its texture, structure, water movement or excessively steep slope. The following minimum soil conditions are needed for the establishment and maintenance of a long-lived vegetation cover. If these conditions cannot be met, see the Standards and Specifications for Resoiling.

Soils must include enough fine-grained material to hold at least a moderate amount of available moisture. The soil must be free from material that is toxic or otherwise harmful to plant growth.

|                                                       | Perma                   | anent Seeding               |                              |
|-------------------------------------------------------|-------------------------|-----------------------------|------------------------------|
| Seed Mix                                              | Seed                    | ling Rate                   | Notes:                       |
|                                                       | lb./ac.                 | lb./1,000 ft. <sup>2</sup>  |                              |
|                                                       | Gei                     | neral Use                   |                              |
| Creeping Red Fescue<br>Ryegrass<br>Kentucky Bluegrass | 20-40<br>10-20<br>10-20 | 1/2-1<br>1/4-1/2<br>1/4-1/2 |                              |
|                                                       | 40                      | 1                           |                              |
| Dwarf Fescue<br>Tall Fescue                           | 40                      | 1                           |                              |
|                                                       | Steep Ban               | ks or Cut Slopes            |                              |
| Tall Fescue                                           | 40                      | 1                           |                              |
| Crown Vetch<br>Tall Fescue                            | 10<br>20                | 1/4<br>1/2                  | Do not seed later than Augus |
| Flat Pea<br>Tall Fescue                               | 20<br>20                | 1/2<br>1/2                  | Do not seed later than Augus |
|                                                       | Road D                  | itches and Swales           | <br>}                        |
| Tall Fescue                                           | 40                      | 1                           |                              |
| Dwarf Fescue<br>Kentucky Bluegrass                    | 90<br>5                 | 2 1/4                       |                              |
|                                                       |                         | Lawns                       |                              |
| Perennial Ryegrass<br>Kentucky Bluegrass              | 60<br>60                | 1 1/2<br>1 1/2              |                              |
| Creeping Red Fescue<br>Kentucky Bluegrass             | 60<br>60                | 1 1/2<br>1 1/2              | For shaded areas             |

SEE LANDSCAPE PLANS FOR SPECIFIC SPECIES SELECTION

|                                                | Formula  | lb./ac. | lb./1,000<br>sq. ft. | Time                                            | Mowing                |
|------------------------------------------------|----------|---------|----------------------|-------------------------------------------------|-----------------------|
| Creephixture<br>Ryegrass<br>Kentucky Bluegrass | 10-10-10 | 500     | 12                   |                                                 | Not closer<br>than 3" |
| Tall Fescue                                    | 10-10-10 | 500     | 12                   | Fall, yearly<br>or as needed                    | Not closer<br>than 4" |
| Dwarf Fescue                                   | 10-10-10 | 500     | 12                   |                                                 | Not closer<br>than 2" |
| Crown Vetch Fescue                             | 0-20-20  | 400     | 10                   | Spring,<br>yearly<br>following<br>establishment | Do not mow            |
| Flat Pea Fescue                                | 0-20-20  | 400     | 10                   | and every<br>4-7 yrs.<br>thereafter             | Do not mow            |



# **BURIED UTILITIES NOTE:**

All above ground features have been field located. All buried utilities have been shown based upon field evidence, project utility plans, and/or information obtained from utility companies. The utilities shown may or may not be shown in their actual location. Other puried utilities might exist on the subject property which are not shown on this drawing.

SITE PREPARATION

- 1. A subsoiler, plow or other implement shall be used to reduce so and allow maximum infiltration. (Maximizing infiltration will help of runoff rate and water quality.) Subsoiling should be done when moisture is low enough to allow the soil to crack or fracture. Sul not be done on slip-prone areas where soil preparation should b what is necessary for establishing vegetation.
- 2. The site shall be graded as needed to permit the use of convent
- equipment for seedbed preparation and seeding. Resoil shall be applied where needed to establish vegetation.
- SEEDBED PREPARATION
- 1. Lime--Agricultural group limestone shall be applied to acid soil a recommended by a soil test. In lieu of a soil test, lime shall be a rate of 100 lb./1,000 sq. ft. or 2 tons/ac.
- 2. Fertilizer--Fertilizer shall be applied as recommended by a soil to a soil test, fertilizer shall be applied at a rate of 12 lb./1,000 sq. lb./ac. of 10-10-10- or 12-12-12 analysis.
- 3. The lime and fertilizer shall be worked into the soil with a disk ha spring-tooth harrow, or other suitable field implement to a depth sloping land the soil shall be worked on the contour. MULCHING
- 1. Mulch material shall be applied immediately after seeding. Seed during optimum seeding dates and with favorable soil conditions flat areas may not need mulch to achieve adequate stabilization seeding shall be mulched.
- 2. Materials
- Straw--If straw is used it shall be unrotted small-grain straw app rate of 2 tons/ac. or 90 lb./1,000 sq. ft. (two to three bales). The be spread uniformly by hand or mechanically so the soil surface For uniform distribution of hand-spread mulch, divide area into a 1,000 sq. ft. sections and spread two 45-lb. bales of straw in eac
- \* Hydroseeders--If wood cellulose fiber is used, it shall be used at or 46 lb./1,000 sq. ft.
- \* Other--Other acceptable mulches include mulch mattings applie to manufacturer's recommendations or wood chips applied at 6 3. Straw Mulch Anchoring Methods
- Straw mulch shall be anchored immediately to minimize loss by water.
- \* Mechanical--A disk, crimper, or similar type tool shall be set strai or anchor the mulch material into the soil. Straw mechanically a not be finely chopped by, generally, be left longer than 6 in.
- IRRIGATION
- 1. Permanent seeding shall include irrigation to establish vegetatio or hot weather or on adverse site conditions as needed for adequate moisture for seed germination and plant growth.
- 2. Excessive irrigation rates shall be avoided and irrigation monitored to prevent erosion and damage from runoff.

- everywhere the sequence of construction operations allows vegetation to be established.
- CONDITIONS WHERE PRACTICE APPLIES seeding should be applied if the areas will be idle for more than a year.
- PLANNING CONSIDERATIONS
- practical on construction-sites, its liberal use is highly recommended.

| Seeding Dates                   | Species              | Lb./1,000 ft. <sup>2</sup> | Per Acre |  |
|---------------------------------|----------------------|----------------------------|----------|--|
| March 1 to August 15            | Oats                 | 3                          | 4 bushel |  |
| March 1 to August 15            | Tall Fescue          | 1                          | 40 lb.   |  |
|                                 | Annual Ryegrass      | 1                          | 40 lb.   |  |
|                                 | Perennial Ryegrass   | 1                          | 40 lb.   |  |
|                                 | Tall Fescue          | 1                          | 40 lb.   |  |
|                                 | Annual Ryegrass      | 1                          | 40 lb.   |  |
|                                 | Rye                  | 3                          | 2 bushel |  |
| August 16 to November 1         | Tall Fescue          |                            | 40 lb.   |  |
|                                 | Annual Ryegrass      | 1                          | 40 lb.   |  |
|                                 | Wheat                | 3                          | 2 bushel |  |
|                                 | Tall Fescue          | 1                          | 40 lb.   |  |
|                                 | Annual Ryegrass      | 1                          | 40 lb.   |  |
|                                 | Perennial Ryegrass   | 1                          | 40 lb.   |  |
|                                 | Tall Fescue          | 1                          | 40 lb.   |  |
|                                 | Annual Ryegrass      | 1                          | 40 lb.   |  |
| November 1 to<br>Spring Seeding | Use mulch only, sodd | ing practices or dormant   | seeding. |  |

- 1. Structural erosion- and sediment-control practices such as diversions and sediment traps shall be installed and stabilized with temporary seeding prior to grading the rest of the construction-site.
- 2. Temporary seed shall be applied between construction operations on soil that will not be graded or reworked for 45 days or more. These idle areas should be seeded as soon as possible after grading or shall be seeded within 7 days. Several applications of temporary seeing are necessary on typical construction projects.
- postponed if ideal seedbed preparation is not possible.
- amendments. Soil tests should be taken on the site to predict the need for lime and fertilizer.

MULCHING TEMPORARY SEEDING

Applications of temporary seeding shall include mulch which shall be applied during or immediately after seeding. Seedings made during optimum seeding dates and with favorable soil conditions and on very flat areas may not need mulch to achieve adequate stabilization. Materials

- area into approximately 1,000-sq.-ft. sections and spread two 45-lb. bales of straw in each section.
- tons/ac

Straw mulch shall be anchored immediately to minimize loss by wind or water. - 3. Anchoring Methods:

- Mulch Nettings--Nettings shall be used according to the manufacturer's recommendations. Netting may be necessary to hold mulch in place in
- recommended by the manufacturer.

Mechanical--A disk, crimper, or similar type tool shall be set straight to punch or anchor the mulch material into the soil. Straw mechanically anchored shall not be finely chopped but, generally, be left longer than 6 in.

- areas of concentration runoff and on critical slopes.
- with water and the mixture shall contain a maximum of 50 lb./100 gal.

### PERMANENT SEEDING $\langle 1 \rangle$

|                                                                                    | SEEDING DATES AND SOIL CONDITIONS                                                                                                                                                                                                                                                                                                                                                                                                       |
|------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| oil compaction<br>p control both<br>n the soil<br>ubsoiling shall<br>be limited to | Seeding should be done March 1 to May 31 or August 1 to September 30.<br>These seeding dates are ideal but, with the use of additional mulch and<br>irrigation, seedings may be made any time throughout the growing season.<br>Tillage/seedbed preparation should be done when the soil is dry enough to<br>crumble and not form ribbons when compressed by hand. For winter<br>seeding, see the following section on dormant seeding. |
| ntional                                                                            | DORMANT SEEDINGS.                                                                                                                                                                                                                                                                                                                                                                                                                       |
|                                                                                    | 1. Seeding shall not be planted from October 1 through November 20. During this period the seeds are likely to germinate but probably will not be able to survive the winter.                                                                                                                                                                                                                                                           |
| as                                                                                 | 2. The following methods may be used for "Dormant Seeding":                                                                                                                                                                                                                                                                                                                                                                             |
| applied at the<br>test. In lieu of<br>. ft. or 500                                 | <ul> <li>From October 1 through November 20, prepare the seedbed, add the<br/>required amounts of lime and fertilizer, then mulch and anchor. After<br/>November 20, and before March 15, broadcast the selected seed mixture.<br/>Increase the seeding rates by 50% for this type of seeding.</li> </ul>                                                                                                                               |
| harrow,<br>h of 3 in. On                                                           | * From November 20 through March 15, when soil conditions permit, prepare the seedbed, lime and fertilize, apply the selected seed mixture, mulch and anchor. Increase the seeding rates by 50% for this type of seeding.                                                                                                                                                                                                               |
| edings made                                                                        | <ul> <li>Apply seed uniformly with a cyclone seeder, drill, cultipacker seeder, or<br/>hydro-seeder (slurry may include seed and fertilizer) on a firm, moist<br/>seedbed.</li> </ul>                                                                                                                                                                                                                                                   |
| ns and on very<br>n. Dormant                                                       | * Where feasible, except when a cultipacker type seeder is used, the seedbed should be firmed following seeding operations with a cultipacker, roller, or light drag. On sloping land, seeding operations should be on the contour where feasible.                                                                                                                                                                                      |
| plied at the<br>le mulch shall<br>e is covered.                                    | * Mulch NettingsNettings shall be used according to the manufacturer's<br>recommendations. Netting may be necessary to hold mulch in place in<br>areas of concentrated runoff and on critical slopes.                                                                                                                                                                                                                                   |
| approximately ach section.                                                         | <ul> <li>Asphalt EmulsionAsphalt shall be applied as recommended by the<br/>manufacturer or at the rate of 160 gal./ac.</li> </ul>                                                                                                                                                                                                                                                                                                      |
| at 2,000 lb./ac.<br>ied according                                                  | <ul> <li>Synthetic BindersSynthetic binders such as Acrylic DLR (Agri-Tac),<br/>DAC-70, Petroset, Terra Tack or equal may be used at rates recommended<br/>by the manufacturer.</li> </ul>                                                                                                                                                                                                                                              |
| 5 tons/ac.                                                                         | * Wood Cellulose FiberWood cellulose fiber binder shall be applied at a net dry weight of 750 lb./ac. The wood cellulose fiber shall be mixed with water and the mixture shall contain a maximum of 50 lb./100 gal. of wood                                                                                                                                                                                                             |
| y wind of                                                                          | cellulose fiber.                                                                                                                                                                                                                                                                                                                                                                                                                        |
| raight to punch                                                                    | MAINTENANCE                                                                                                                                                                                                                                                                                                                                                                                                                             |
| anchored shall                                                                     | <ol> <li>Permanent seeding shall not be considered established for at least 1 full yr.<br/>from the time of planting. Seeded areas shall be inspected for failure and<br/>vegetation conditions, it may be necessary to irrigate, fertilize, overseed, or<br/>reestablish plantings in order to provider permanent vegetation for<br/>adequate erosion control.</li> </ol>                                                              |

Maintenance fertilization rates shall be established by soil test 2. recommendations or by using the rates shown in the following table.

### $\langle 1 \rangle$ TEMPORARY SEEDING

Temporary seeding provides erosion control on areas in between construction operations. Grasses which are quick growing are seeded and usually mulched to provide prompt, temporary soil stabilization. It effectively minimizes the area of a construction-site prone to erosion and should be used

Temporary seeding should be applied on exposed soil where additional work (grading,etc.) is not scheduled for more than 45 days. Permanent

This practice has the potential to drastically reduce the amount of sediment eroded from a construction-site. Control efficiencies greater than 90% will be achieved with proper applications of temporary seeding. Because practices used to trap sediment are usually much less effective, temporary seeding is to be used even on areas where runoff is treated by sediment trapping practices. Because temporary seeding is highly effective and

- 3. The seedbed should be pulverized and loose to ensure the success of establishing vegetation. However, temporary seeding shall not be
- 4. Soil Amendments--Applications of temporary vegetation shall establish adequate stands of vegetation which may require the use of soil

5. Seeding Method--Seed shall be applied uniformly with a cyclone seeder, drill cultipacker seeder, or hydroseeder. When feasible, seed that has been broadcast shall be covered by raking or dragging and then lightly tamped into place using a roller or cultipacker. If hydroseeding is used, the seed and fertilizer will be mixed on-site and the seeding shall be done immediately and without interruption.

Straw--If straw is used, it shall be unrotted small-grain straw applied at the rate of 2 tons/ac. or 90 lb./1,000 sq. ft. (two to three bales). The mulch shall be spread uniformly by hand or mechanically so the soil surface is covered. For uniform distribution of hand-spread mulch, divide

Hydroseeders--If wood cellulose fiber is used, it shall be used at 2,000 lb/ac. or 46 lb./1,000 sq. ft. Other--Other acceptance mulches include mulch mattings applied according to manufacturer's recommendations or wood chips applied at 6

Asphalt Emulsion--Asphalt shall be applied as recommended by the manufacturer or at the rate of 160 gal./ac.

Synthetic Binders--Synthetic binders such as Acrylic DLR (Agri-Tac), DCA-70, Petroset, Terra Tack or equal may be used at rates

Wood-Cellulose Fiber--Wood-cellulose fiber binder shall be applied at a net dry weight of 750 lb./ac. The wood-cellulose fiber shall be mixed

| ANTICIPATED                                            | POTENTIAL SOURCES OF SEDIMENT TO ST                                                                                                                                                                                                                                                                                                                                                          |                                                                                                                                                                                                                                                  |  |  |
|--------------------------------------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--|--|
| LOCATION ON SITE                                       |                                                                                                                                                                                                                                                                                                                                                                                              |                                                                                                                                                                                                                                                  |  |  |
| Soil Piles                                             | Site runoff at the perimeter will filter through silt fence and/or mulch berms at the edges and be directed to existing drainage courses. Rock check dams will be constructed along open channels. The interior of the site will drain to proposed storm sewers, with inlet protection, which flows to sediment traps and/or basins that eventually outlets to the existing drainage course. |                                                                                                                                                                                                                                                  |  |  |
| Cut / Fill Slopes                                      | Site runoff at the perimeter will filter through silt fence and/or mulch berms at the edges and be directed to existing drainage courses. Rock check dams will be constructed along open channels. The interior of the site will drain to proposed storm sewers, with inlet protection, which flows to sediment traps and/or basins that eventually outlets to the existing drainage course. |                                                                                                                                                                                                                                                  |  |  |
| Dewatering Activities,<br>Pumped Trench<br>Excavations | Sediment-laden trench or groundwater must pass the place using a sump pit, filter bag or other comparab                                                                                                                                                                                                                                                                                      |                                                                                                                                                                                                                                                  |  |  |
| Construction<br>Entrances                              | Site runoff at the perimeter will filter through silt fence<br>to existing drainage courses. Rock check dams will<br>the site will drain to proposed storm sewers, with inl<br>basins that eventually outlets to the existing drainag                                                                                                                                                        | be constructed along open channels. The interior o<br>et protection, which flows to sediment traps and/or                                                                                                                                        |  |  |
|                                                        | NON-SEDIMENT POLLUTION C                                                                                                                                                                                                                                                                                                                                                                     |                                                                                                                                                                                                                                                  |  |  |
| ANTICIPATED<br>LOCATION ON SITE                        | LOCATION USED or STORED on SITE                                                                                                                                                                                                                                                                                                                                                              | ANTICIPATED OUTFALL and/or<br>RECEIVING AREA                                                                                                                                                                                                     |  |  |
| Concrete                                               | Used for pavement, walls, overlooks and stairs.<br>Store in concrete washout or elevated above grade.                                                                                                                                                                                                                                                                                        | Concrete wash out area. Concrete wash water<br>shall not be allowed to flow to streams, ditches, or<br>any other water conveyance. A sump or pit with n<br>potential discharge shall be constructed if needed<br>to contain concrete wash water. |  |  |
| Vehicle Fueling                                        | Install diked area and stabilized gravel pad around fuel stations and storage containers/tanks as they are moved on site.                                                                                                                                                                                                                                                                    | Fuel shall not be allowed to flow to streams,<br>ditches, or any other water conveyance. Remove<br>contaminates per recommended removal<br>techniques as they become apparent within diked<br>areas.                                             |  |  |
| Vehicle<br>Maintenance/Service                         | Install diked area around storage containers and near stabilized surface away from drainage ways.                                                                                                                                                                                                                                                                                            | Inspect maintenance areas after performing<br>maintenance and clean out and remove excess<br>contaminants as needed                                                                                                                              |  |  |
| Paints (enamel and<br>latex)                           | Used for pavement striping. Store in sealable containers elevated above grade.                                                                                                                                                                                                                                                                                                               | Paint shall not be allowed to flow to streams,<br>ditches, or any other water conveyance. A sump of<br>pit with no potential discharge shall be constructed<br>if needed to contain pollutants.                                                  |  |  |
| Petroleum Based<br>Products                            | Used for pavement, concrete, vehicle maintenance.<br>Store in approved sealable containers within diked<br>areas.                                                                                                                                                                                                                                                                            | Shall not be allowed to flow to streams, ditches, o<br>any other water conveyance. A sump or pit with n<br>potential discharge shall be constructed if needed<br>to contain pollutants.                                                          |  |  |
| Cleaning Solvent                                       | Used for general site maintenance. Store in sealable containers elevated above grade.                                                                                                                                                                                                                                                                                                        | Shall not be allowed to flow to streams, ditches, or<br>any other water conveyance. A sump or pit with n<br>potential discharge shall be constructed if needed<br>to contain pollutants.                                                         |  |  |
| Fertilizers                                            | Used for lawn stabilization. Store in sealable containers elevated above grade.                                                                                                                                                                                                                                                                                                              | Shall not be allowed to flow to streams, ditches, or<br>any other water conveyance. A sump or pit with n<br>potential discharge shall be constructed if needed<br>to contain pollutants.                                                         |  |  |
| Plasters/Grouts                                        | Used for pavement and underground utilities. Store in elevated containers.                                                                                                                                                                                                                                                                                                                   | Shall not be allowed to flow to streams, ditches, or<br>any other water conveyance. A sump or pit with n<br>potential discharge shall be constructed if needed<br>to contain pollutants.                                                         |  |  |
| Curing Compounds                                       | Used for concrete applications. Store in sealable containers elevated above grade.                                                                                                                                                                                                                                                                                                           | Shall not be allowed to flow to streams, ditches, or<br>any other water conveyance. A sump or pit with n<br>potential discharge shall be constructed if needed<br>to contain pollutants.                                                         |  |  |
| Waste Disposal                                         | All waste materials, trash and construction debris<br>shall be collected and stored in a securely lidded<br>metal dumpster. Install dumpsters in areas<br>throughout site as needed during construction.                                                                                                                                                                                     | Dumpster locations as approved by waste<br>management company. The dumpster will be<br>emptied as needed and no construction waste<br>material will be buried on site.                                                                           |  |  |
| Hazard Waste                                           | Install hazardous waste containment area as soon as materials are present on-site.                                                                                                                                                                                                                                                                                                           | All hazardous waste material shall be disposed of<br>according to local and/or State regulations and as<br>recommended by the manufacturer.                                                                                                      |  |  |
| Sanitary Waste                                         | All sanitary waste shall be collected from portable<br>units by a licensed sanitary waste management<br>contractor as required by local, and/or State<br>regulation.                                                                                                                                                                                                                         | Portable unit locations as approved by sanitary waste management company. The units will be emptied as needed.                                                                                                                                   |  |  |

CONSTRUCTION SEQUENCE AND EROSION CONTROL NOTES 1. CLEARING AND GRUBBING FOR THOSE AREAS NECESSARY FOR THE INSTALLATION OF EROSION AND SEDIMENT PERIMETER CONTROL MEASURES.

2. INSTALL CONSTRUCTION ENTRANCE.

regulation.

- 3. INSTALL EROSION AND SEDIMENT CONTROL MEASURES INCLUDING THE CONSTRUCTION OF THE SEDIMENT
- 4. GRADING AND STRIPPING OF THE REMAINING AREAS OF THE DEVELOPMENT SITE OR PROJECT AREA.
- 5. CONTRACTOR SHALL LOCATE, INSTALL AND MAINTAIN A CONCRETE WASHOUT LOCATION. NO CONCRETE WASHOUT OR CHEMICALS MAY BE DISPOSED OF IN OR DISCHARGED TO WATERS OF THE US. 6. INSTALL STORMWATER MANAGEMENT SYSTEMS.
- 7. TEMPORARY VEGETATIVE STABILIZATION OF EROSION AND SEDIMENT CONTROL MEASURES.
- 8. GRADING OF ROADS, STREETS, OR PARKING AREAS, ETC.
- 9. INSTALLATION OF ALL UTILITIES.
- 10. SITE CONSTRUCTION.
- 11. FINAL GRADING, STABILIZATION, AND LANDSCAPING.
- 12. AFTER THE VEGETATION HAS BECOME WELL ESTABLISHED, REMOVAL OF EROSION AND SEDIMENT CONTROL MEASURES.
- 13. THE CONTRACTOR MUST INSPECT ALL EROSION AND SEDIMENT CONTROLS ONCE EVERY 7 DAYS AND WITHIN 24 HOURS AFTER EACH RAINFALL OF ½ INCH OR GREATER.
- 14. THE CONTRACTOR MUST CONDUCT NECESSARY REPAIRS.
- 15. THE CONTRACTOR IS RESPONSIBLE FOR KEEPING ADJACENT PRIVATE DRIVES FREE OF SEDIMENT; PERIODIC STREET SWEEPING MAY BE REQUIRED.
- 16. PERMANENT OR TEMPORARY SOIL STABILIZATION SHALL BE APPLIED TO THE DISTURBED AREAS ON ANY PORTION OF THE SITE WITHIN FOURTEEN (14) DAYS AFTER FINAL GRADE IS REACHED.
- 17. AFTER THE VEGETATION HAS BECOME WELL ESTABLISHED, REMOVE TEMPORARY EROSION OR SEDIMENT CONTROL PRACTICES.
- 18. ANY STOCKPILED SOILS SHALL HAVE A SILT FENCE PLACED AROUND THE BASE OF THE PILE TO PREVENT SOIL EROSION. ANY STOCKPILES LEFT AFTER THE PROJECT IS COMPLETED SHALL BE SEEDED TO PROVIDE ADDITIONAL PROTECTION.
- 19. DEVELOPER AND CONTRACTOR SHALL FOLLOW STABILIZATION TIMELINES PRESCRIBED UNDER 2.3 ON PAGE 14 OF 31 OF THE KPDES PERMIT GENERAL CONSTRUCTION PERMIT.
- SWPPP NOTES

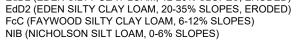
TYPE OF CONSTRUCTION ACTIVITY: SITE DEVELOPMENT, CONSTRUCTION OF BUILDINGS INCLUDING PAVEMENT AND UTILITIES.

TOTAL ON-SITE AREA: 56.26 ACRES±

TOTAL DISTURBED AREA: 54 ACRES±

SOIL DESCRIPTION:

EdD2 (EDEN SILTY CLAY LOAM, 12-20% SLOPES, ERODED)



PROPOSED LAND USE: COMMERCIAL AND RETAIL USES RECEIVING WATERS: FOURMILE CREEK, LICKING RIVER

PROJECT INFORMATION: PROJECT NAME:

COLD SPRING POINTE

CITY OF COLD SPRING,

PROJECT ADDRESS:

CAMPBELL COUNTY, KENTUCKY

### DRMATION BELOW TO B IPLETED AFTER CONTRACTO ELECTED FOR THE PROJECT.

PERSON RESPONSIBLE FOR

MAINTAINING SWPPP:

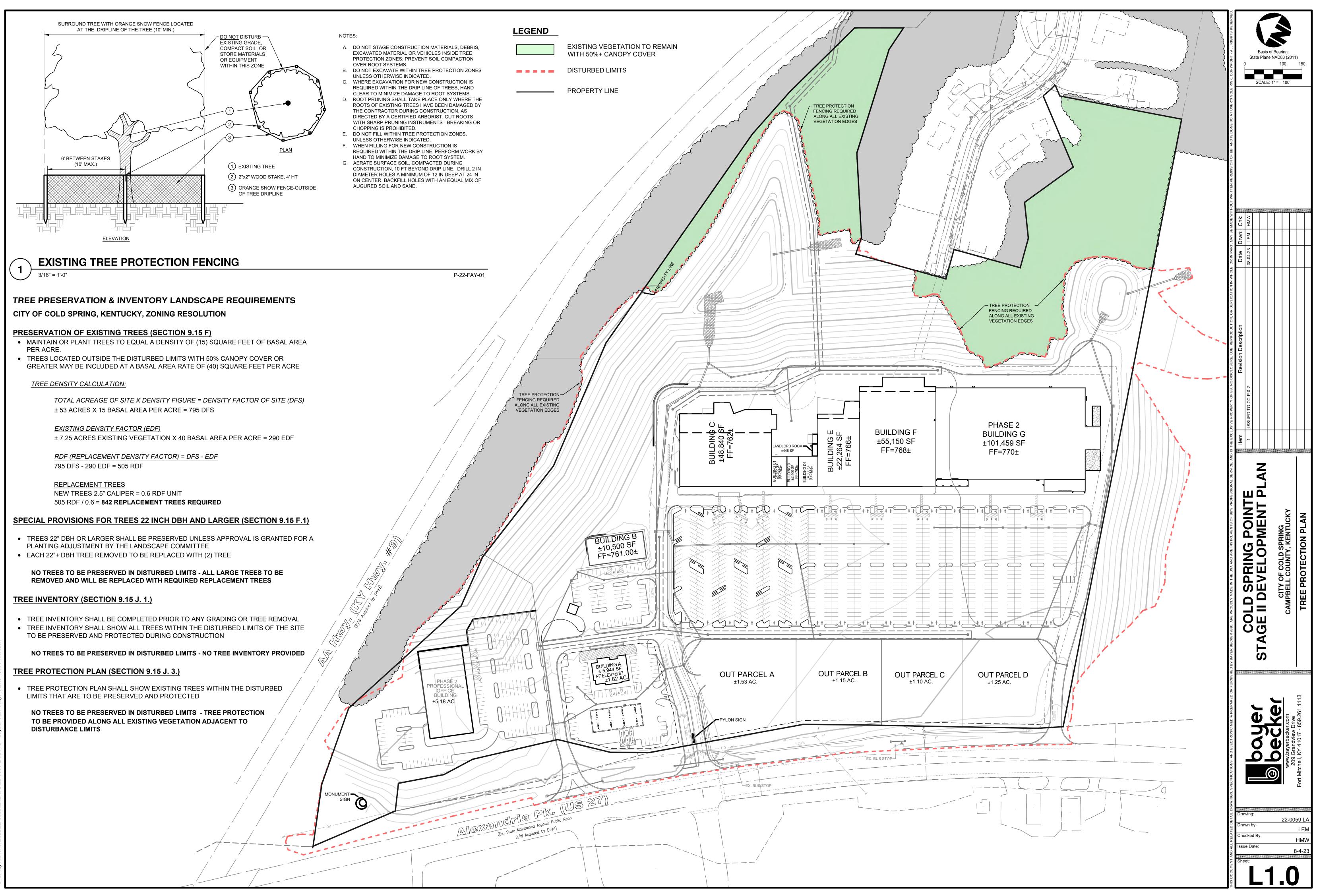
CONTRACTOR (SITE OPERATORS) CONTACT INFORMATION:

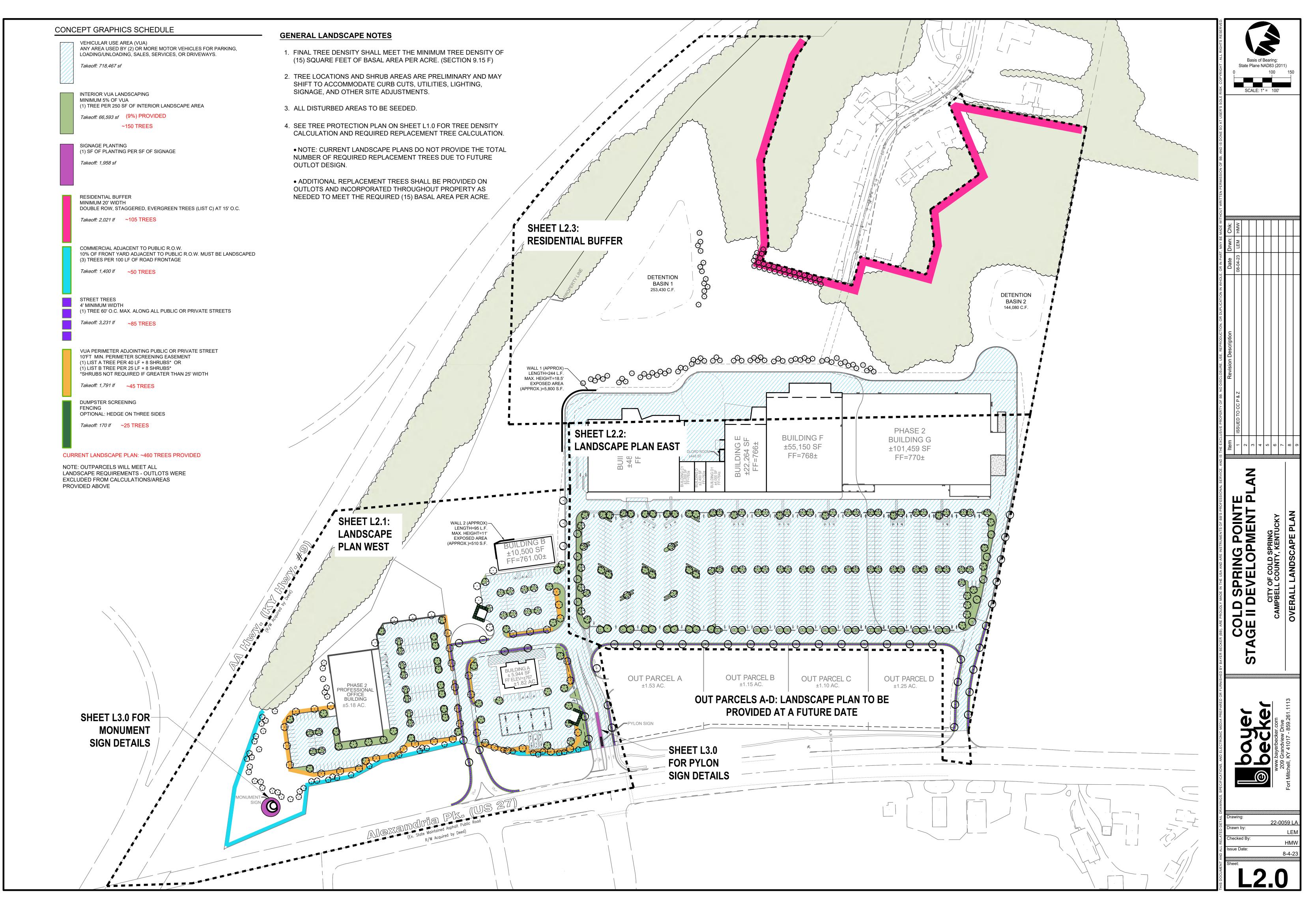
DATE OF SWPPP PREPARATION: ESTIMATED CONSTRUCTION DATES: START COMPLETION:

| Erosion Preven                                           | tion and Sediment Control Site Inspection Form                                                                                                                                                                                                                             | RIGHTS RESERVED.                                                                                                                                                   |
|----------------------------------------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| Inspec                                                   | ctor: Date:                                                                                                                                                                                                                                                                | ыт - ALL                                                                                                                                                           |
|                                                          | last inspection:inches                                                                                                                                                                                                                                                     | E RISK. COPYRIG                                                                                                                                                    |
| (Check for mud in stone                                  | es:<br>correctly according to the approved plan? YES NO N/A<br>es/street, runoff diverted from street, etc)                                                                                                                                                                | DONE SO AT USER'S SOL                                                                                                                                              |
| (Check for runoff directe<br>fence/filter fabric, emerg  | s:<br>correctly according to the approved plan? YES NO N/A<br>ed to basin, down slope areas stabilized, riser pipe wrapped with wire<br>gency overflow, accumulated sediment more than 40% of volume, etc)                                                                 | PERMISSION OF BB, AND IS                                                                                                                                           |
| YES NO N/A (Check f accumulated, broken sta              | ns:<br>Berm (SF/MB) installed correctly according to the approved plan?<br>for fabric trenched in, follow contour, turned upslope at ends, silt<br>akes, tight fabric, installed in all areas where sediment could leave the site                                          |                                                                                                                                                                    |
| Check for runoff ponding                                 | installed correctly according to the approved plan? YES NO N/.<br>g, in good shape, silt accumulated, etc)                                                                                                                                                                 | ART                                                                                                                                                                |
|                                                          | on:<br>that will lie dormant for 21 days or more stabilized with seed/straw or<br>sides, etc) YES NO N/A                                                                                                                                                                   | OR DUPLICATION IN W                                                                                                                                                |
| Are all areas stabilized s                               | still in good condition and not eroding? YES NO N/A                                                                                                                                                                                                                        |                                                                                                                                                                    |
| <b>Permanent Stabilizatio</b><br>Have areas that achieve |                                                                                                                                                                                                                                                                            | A/A                                                                                                                                                                |
| Do all storm water outflo                                | ow areas have riprap or concrete to prevent scouring? YES NO N                                                                                                                                                                                                             |                                                                                                                                                                    |
| (Check for stabilized ed                                 | gs installed correctly according to the approved plan? YES NO N ges, runoff diverted from stream, mud over stones, end of useful life, etc                                                                                                                                 |                                                                                                                                                                    |
| Erosion Preventi                                         | on and Sediment Control Site Inspection Form                                                                                                                                                                                                                               | IS THE EXCLUSIN<br>1 1 IS<br>2 2<br>3 2<br>6 6<br>6 7<br>7 7<br>8 7<br>7 1<br>1 1S<br>2 1<br>1 1S<br>2 1<br>2 1<br>2 1<br>2 1<br>2 1<br>2 1<br>2 1<br>2 1          |
| •                                                        | any of the above questions, note any corrective action needed<br>on the Inspection Log when the action was completed.                                                                                                                                                      | AN SERVICE. AND                                                                                                                                                    |
| actual precipitation, an                                 | <b>Inspection Log</b><br>red before and after storm events with 0.5 inches or greater predicted or<br>ad documented on the Construction Site Inspection Form. Incidents of<br>eported to the Engineer. A log of all inspections, as shown below, shall be<br>kept current. | NUMENTS OF BUS PROFESSIONAL<br>POINTE<br>MENT PL<br>SING<br>SING<br>ENTUCKY<br>DETAILS                                                                             |
| Date: Inspector:                                         | Actions Performed/Date:                                                                                                                                                                                                                                                    | BY BAYER BECKER (BB), ARE PROUDLY MADE IN THE USA AND ARE INSTITUTED COLD SPRING<br>STAGE II DEVELOP<br>CITY OF COLD SPF<br>CAMPBELL COUNTY, KE<br>EROSION CONTROL |
|                                                          |                                                                                                                                                                                                                                                                            | ELECTRONIC MEDIA PREPARED OR FURNISHED<br>OUGE<br>OUGE<br>OUGE<br>OUGE<br>OUGE<br>OUGE<br>OUGE<br>OUGE                                                             |

22-0059 CD DETAI

08-04-2





Plot time: Aug 04, 2023 - 11:48am Drawing name: J:\2022\22-0059\LA\DWG\22-0059 LA.DWG - Layout Tab: Stage II L2.X P

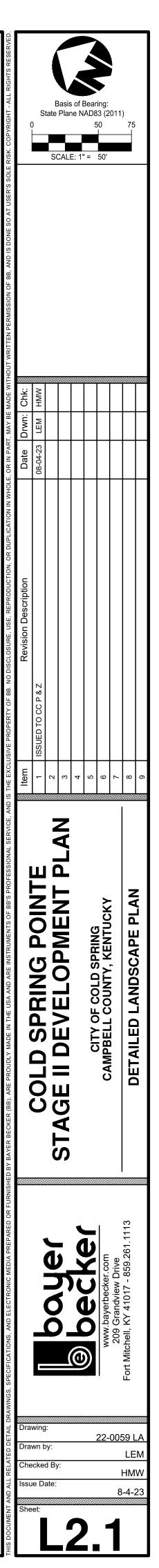


## GENERAL LANDSCAPE NOTES

- 1. TREE LOCATIONS AND SHRUB AREAS ARE PRELIMINARY AND MAY SHIFT TO ACCOMMODATE CURB CUTS, UTILITIES, LIGHTING, SIGNAGE, AND OTHER SITE ADJUSTMENTS.
- 2. PLANTS SHALL BE INSTALLED TO MEET MINIMUM SIZE REQUIREMENTS AS SPECIFIED IN SECTION 9.15 LANDSCAPE REGULATIONS (I) (2) OF COLD SPRING ZONING ORDINANCE.
- 3. SEE SHEET L3.0 FOR SIGN DETAILS.
- 4. SEE SHEET L4.0 FOR LANDSCAPE NOTES AND DETAILS.

| _            | STREET TREE<br>DECIDUOUS STREET TREE (LIST A OR LIST F )                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                             | 15        |                                                                                        |
|--------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------|----------------------------------------------------------------------------------------|
| $\bigcirc$   | CALIPER: 2.5" MIN.<br>Acer rubrum / Red Maple                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                        |           | B & B                                                                                  |
|              | Carpinus betulus / European Hornbeam                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                 |           | B&B                                                                                    |
| Ŭ            | Ginkgo biloba / Maidenhair Tree                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                      |           | B&B                                                                                    |
|              | Gleditsia triacanthos f. inermis / Thornless Honey Locust                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                            |           | B&B                                                                                    |
|              | Liriodendron tulipifera / Tulip Poplar<br>Tilia tomentosa / Silver Linden                                                                                                                                                                                                                                                                                                                                                                                                                                                                                            |           | B & B<br>B & B                                                                         |
|              |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                      |           |                                                                                        |
|              | INTERIOR VUA TREE<br>DECIDUOUS TREE (LIST A)                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                         | 62        |                                                                                        |
|              | CALIPER: 2.5" MIN.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                   |           |                                                                                        |
|              | Acer rubrum / Red Maple<br>Acer saccharum / Sugar Maple                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                              |           | B & B<br>B & B                                                                         |
| June         | Eucommia ulmoides / Hardy Rubber Tree                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                |           | B&B                                                                                    |
|              | Ginkgo biloba / Maidenhair Tree                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                      |           | B&B                                                                                    |
|              | Gleditsia triacanthos f. inermis / Thornless Honey Locust                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                            |           | B & B                                                                                  |
|              | Liquidambar styraciflua 'Rotundiloba' / Round-Lobed Sweet Gum<br>Tilia cordata / Littleleaf Linden                                                                                                                                                                                                                                                                                                                                                                                                                                                                   |           | B & B<br>B & B                                                                         |
|              | Zelkova serrata / Japanese Zelkova                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                   |           | B&B                                                                                    |
|              |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                      | 45        |                                                                                        |
|              | PERIMETER VUA TREE<br>DECIDUOUS TREE (LIST A)                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                        | 45        |                                                                                        |
| 15 20        | CALIPER: 2.5" MIN.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                   |           |                                                                                        |
|              | Acer rubrum / Red Maple                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                              |           | B&B                                                                                    |
| n an         | Acer saccharum / Sugar Maple                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                         |           | B&B                                                                                    |
|              | Gymnocladus dioica / Kentucky Coffeetree<br>Platanus x acerifolia / London Plane Tree                                                                                                                                                                                                                                                                                                                                                                                                                                                                                |           | B & B<br>B & B                                                                         |
|              | Tilia tomentosa / Silver Linden                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                      |           | B&B                                                                                    |
|              | Ulmus americana / American Elm                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                       |           | B & B                                                                                  |
|              | Zelkova serrata / Japanese Zelkova                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                   |           | B & B                                                                                  |
|              | DUMPSTER SCREENING                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                   | 25        |                                                                                        |
| <b>.</b>     | EVERGREEN TREE (LIST C)                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                              |           |                                                                                        |
| $\bigcirc$   | HEIGHT: 6` MIN.<br>Juniperus scopulorum 'Wichita Blue' / Wichita Blue Juniper                                                                                                                                                                                                                                                                                                                                                                                                                                                                                        |           | B & B                                                                                  |
| $\checkmark$ | Thuja x 'Green Giant' / Green Giant Arborvitae                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                       |           | B&B                                                                                    |
|              | FRONT YARD TREE                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                      | 50        |                                                                                        |
|              | DECIDUOUS TREE (LIST A)                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                              | 00        |                                                                                        |
|              | CALIPER: 2.5" MIN.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                   |           |                                                                                        |
|              | Amelanchier x grandiflora 'Autumn Brilliance' / Autumn Brilliance Apple Serviceberry                                                                                                                                                                                                                                                                                                                                                                                                                                                                                 |           | B&B                                                                                    |
|              | Carpinus betulus 'Fastigiata' / Pyramidal European Hornbeam<br>Cercis canadensis / Eastern Redbud                                                                                                                                                                                                                                                                                                                                                                                                                                                                    |           | B & B<br>B & B                                                                         |
|              | Cornus kousa / Kousa Dogwood                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                         |           | B&B                                                                                    |
|              | Ginkgo biloba 'Princeton Sentry' / Princeton Sentry Maidenhair Tree                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                  |           | B&B                                                                                    |
|              | Liquidambar styraciflua 'Slender Silhouette' / Slender Silhouette Sweet Gum                                                                                                                                                                                                                                                                                                                                                                                                                                                                                          |           | B & B                                                                                  |
|              |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                      |           |                                                                                        |
|              |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                      | 1,958 sf  |                                                                                        |
|              | LOW PLANTINGS (30" MAX. HEIGHT)<br>MINIMUM (1) SF OF PLANTING PER (1) SF OF SIGNAGE                                                                                                                                                                                                                                                                                                                                                                                                                                                                                  |           |                                                                                        |
|              | ESTIMATED QUANTITIES PER 1000 SF OF AREA:                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                            |           |                                                                                        |
|              | - SHRUBS: 300 SF (70% DECIDUOUS, 30% EVERGREEN) (16 SF/SHRUB)                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                        |           |                                                                                        |
|              | - ORNAMENTAL GRASSES: 200 SF (5 SF/GRASS)                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                            |           |                                                                                        |
|              | - PERENNIAL: 400 SF (4 SF/PERENNIAL)<br>- SPREADING GROUNDCOVER: 100 SF (20 SF/GC)                                                                                                                                                                                                                                                                                                                                                                                                                                                                                   |           |                                                                                        |
|              | -                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                    |           |                                                                                        |
|              |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                      | 14,017 sf |                                                                                        |
|              | VUA PERIMETER PLANTING                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                               |           |                                                                                        |
|              | <u>VUA PERIMETER PLANTING</u><br>(8) SHRUBS PER 40 LF (~48 SF/SHRUB)                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                 | 11,017 01 |                                                                                        |
|              | (8) SHRUBS PER 40 LF (~48 SF/SHRUB)<br>- 40% DECIDUOUS SHRUBS (LIST D)                                                                                                                                                                                                                                                                                                                                                                                                                                                                                               | 1,017 01  |                                                                                        |
|              | (8) SHRUBS PER 40 LF (~48 SF/SHRUB)<br>- 40% DECIDUOUS SHRUBS (LIST D)<br>- 60% EVERGREEN SHRUBS (LIST E)                                                                                                                                                                                                                                                                                                                                                                                                                                                            |           |                                                                                        |
|              | (8) SHRUBS PER 40 LF (~48 SF/SHRUB)<br>- 40% DECIDUOUS SHRUBS (LIST D)<br>- 60% EVERGREEN SHRUBS (LIST E)<br>Buxus x `Green Mountain` / Green Mountain Boxwood                                                                                                                                                                                                                                                                                                                                                                                                       |           | B & B, 20" Ht.                                                                         |
|              | <ul> <li>(8) SHRUBS PER 40 LF (~48 SF/SHRUB)</li> <li>- 40% DECIDUOUS SHRUBS (LIST D)</li> <li>- 60% EVERGREEN SHRUBS (LIST E)</li> <li>Buxus x `Green Mountain` / Green Mountain Boxwood</li> <li>Chamaecyparis pisifera `Golden Mop` / Golden Mop Threadleaf False Cypress</li> </ul>                                                                                                                                                                                                                                                                              | 1,011 01  | B & B, 20" Ht.                                                                         |
|              | <ul> <li>(8) SHRUBS PER 40 LF (~48 SF/SHRUB)</li> <li>- 40% DECIDUOUS SHRUBS (LIST D)</li> <li>- 60% EVERGREEN SHRUBS (LIST E)</li> <li>Buxus x `Green Mountain` / Green Mountain Boxwood</li> <li>Chamaecyparis pisifera `Golden Mop` / Golden Mop Threadleaf False Cypress</li> <li>Hydrangea quercifolia `Ruby Slippers` / Ruby Slippers Hydrangea</li> </ul>                                                                                                                                                                                                     |           | B & B, 20" Ht.<br>5 gal, 20" Ht.                                                       |
|              | <ul> <li>(8) SHRUBS PER 40 LF (~48 SF/SHRUB)</li> <li>- 40% DECIDUOUS SHRUBS (LIST D)</li> <li>- 60% EVERGREEN SHRUBS (LIST E)</li> <li>Buxus x `Green Mountain` / Green Mountain Boxwood</li> <li>Chamaecyparis pisifera `Golden Mop` / Golden Mop Threadleaf False Cypress</li> </ul>                                                                                                                                                                                                                                                                              |           | B & B, 20" Ht.                                                                         |
|              | <ul> <li>(8) SHRUBS PER 40 LF (~48 SF/SHRUB) <ul> <li>40% DECIDUOUS SHRUBS (LIST D)</li> <li>60% EVERGREEN SHRUBS (LIST E)</li> </ul> </li> <li>Buxus x `Green Mountain` / Green Mountain Boxwood</li> <li>Chamaecyparis pisifera `Golden Mop` / Golden Mop Threadleaf False Cypress</li> <li>Hydrangea quercifolia `Ruby Slippers` / Ruby Slippers Hydrangea</li> <li>Ilex crenata `Sky Pencil` / Sky Pencil Japanese Holly</li> <li>Juniperus chinensis `Sea Green` / Sea Green Juniper</li> <li>Physocarpus opulifolius `Obsidian` / Obsidian Ninebark</li> </ul> | ,0        | B & B, 20" Ht.<br>5 gal, 20" Ht.<br>5 gal, 20" Ht.<br>B & B, 20" Ht.<br>5 gal, 20" Ht. |
|              | <ul> <li>(8) SHRUBS PER 40 LF (~48 SF/SHRUB) <ul> <li>40% DECIDUOUS SHRUBS (LIST D)</li> <li>60% EVERGREEN SHRUBS (LIST E)</li> </ul> </li> <li>Buxus x `Green Mountain` / Green Mountain Boxwood</li> <li>Chamaecyparis pisifera `Golden Mop` / Golden Mop Threadleaf False Cypress</li> <li>Hydrangea quercifolia `Ruby Slippers` / Ruby Slippers Hydrangea</li> <li>Ilex crenata `Sky Pencil` / Sky Pencil Japanese Holly</li> <li>Juniperus chinensis `Sea Green` / Sea Green Juniper</li> </ul>                                                                 |           | B & B, 20" Ht.<br>5 gal, 20" Ht.<br>5 gal, 20" Ht.<br>B & B, 20" Ht.                   |

\* NOTE: A DIVERSITY OF TREE SPECIES WILL BE PROVIDED WITH NO MORE THAN 25% OF A SINGLE SPECIES. ACTUAL SPECIES ARE SUBJECT TO CHANGE, ADDITIONAL SPECIES MAY BE PROVIDED.





<sup>-1</sup>ot time: Aug 04, 2023 - 11:43am )rawing name: J:\2022\22-0059\LA\DWG\22-0059 LA.DWG - Layout Tab: Stage II L2.X PI

# **GENERAL LANDSCAPE NOTES**

- I. TREE LOCATIONS AND SHRUB AREAS ARE PRELIMINARY AND MAY SHIFT TO ACCOMMODATE CURB CUTS, UTILITIES, LIGHTING, SIGNAGE, AND OTHER SITE ADJUSTMENTS.
- 2. PLANTS SHALL BE INSTALLED TO MEET MINIMUM SIZE REQUIREMENTS AS SPECIFIED IN SECTION 9.15 LANDSCAPE REGULATIONS (I) (2) OF COLD SPRING ZONING ORDINANCE.
- 3. SEE SHEET L3.0 FOR SIGN DETAILS.
- 4. SEE SHEET L4.0 FOR LANDSCAPE NOTES AND DETAILS.

### CONCEPT PLANT SCHEDULE EAST

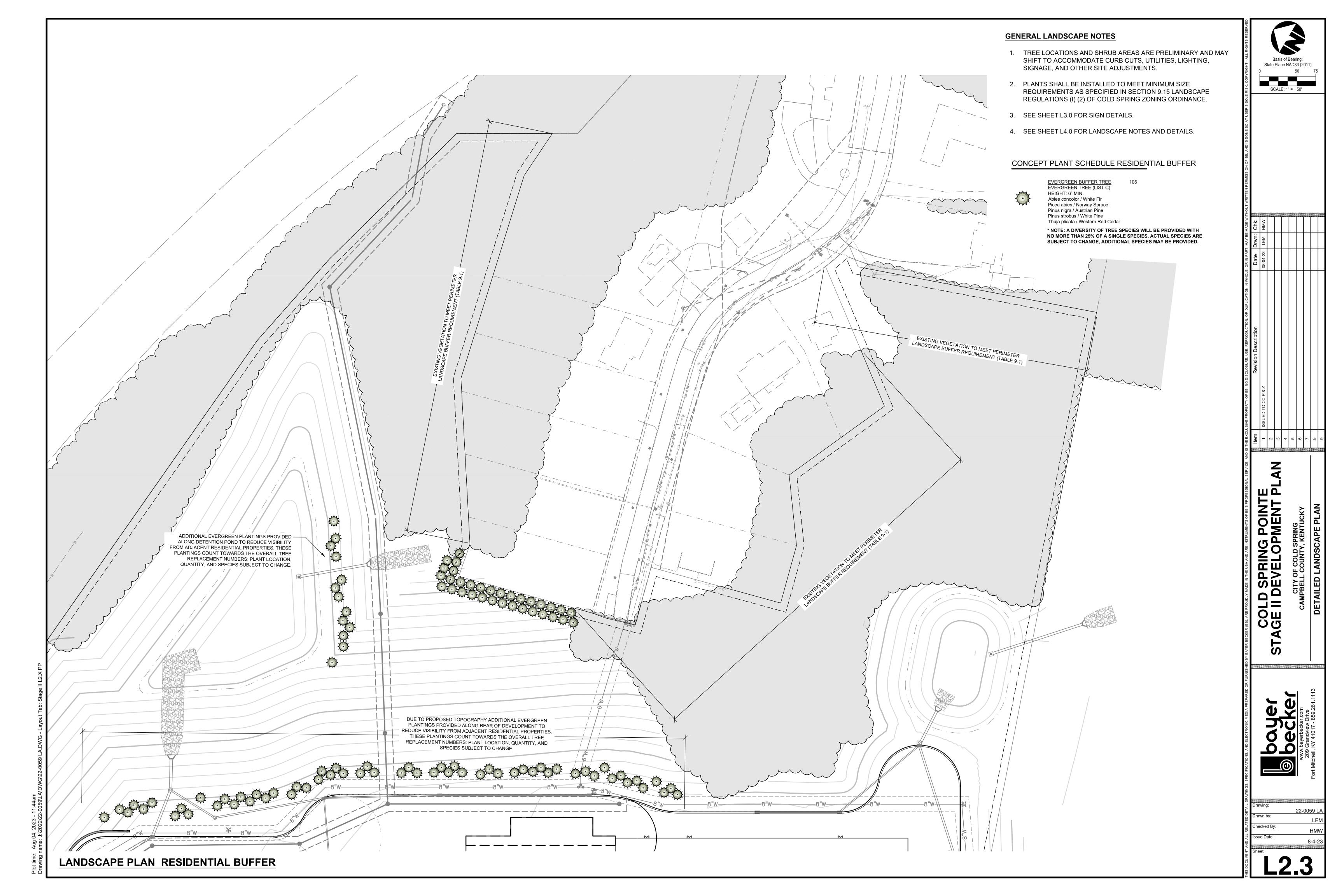
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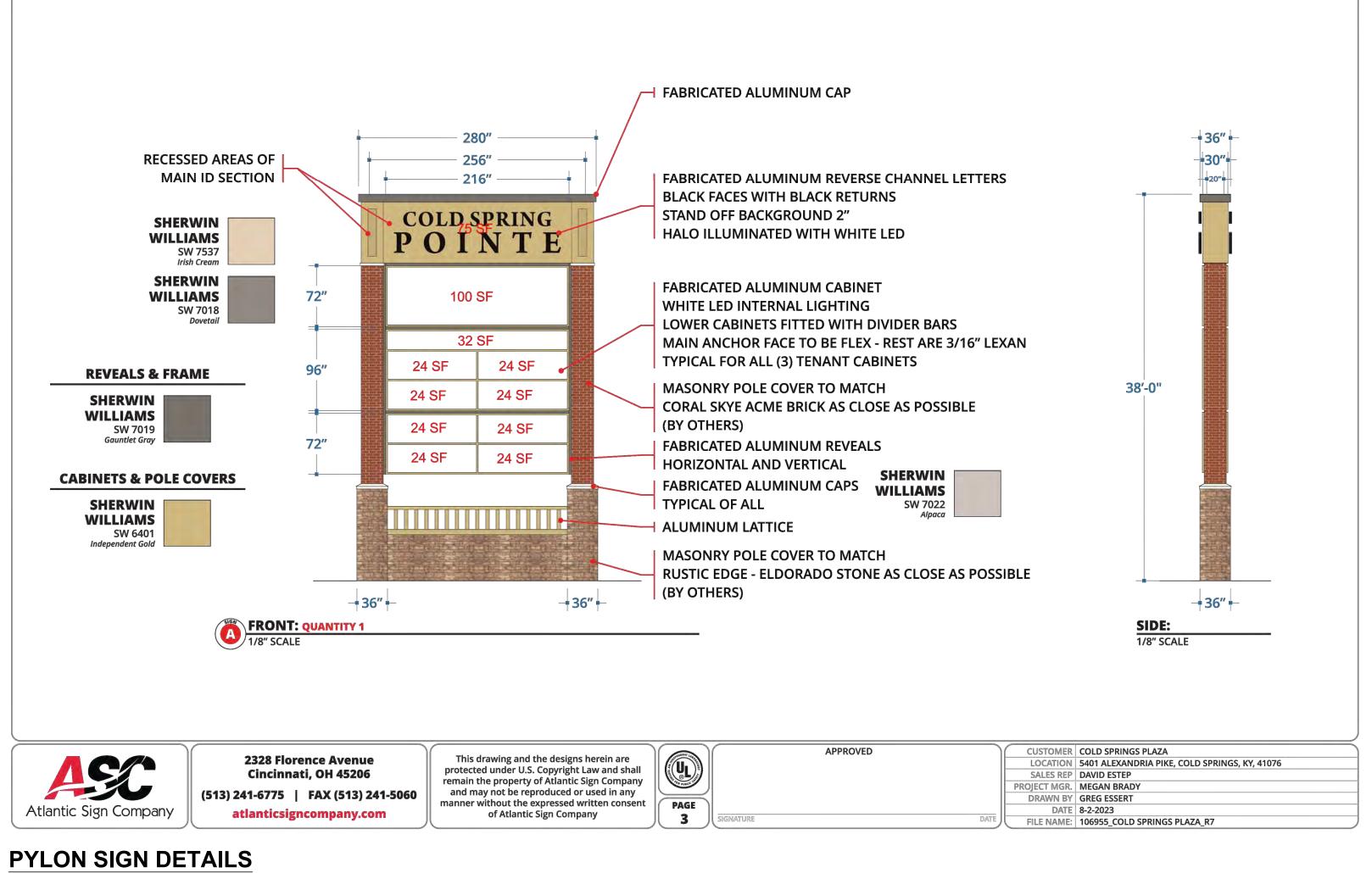
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| STREET TREE<br>DECIDUOUS STREET TREE (LIST A OR LIST F )<br>CALIPER: 2.5" MIN.<br>Acer rubrum / Red Maple<br>Carpinus betulus / European Hornbeam<br>Ginkgo biloba / Maidenhair Tree<br>Gleditsia triacanthos f. inermis / Thornless Honey Locust<br>Liriodendron tulipifera / Tulip Poplar<br>Tilia tomentosa / Silver Linden                                                                                     | 70 | B & B<br>B & B<br>B & B<br>B & B<br>B & B<br>B & B                   |
|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----|----------------------------------------------------------------------|
| INTERIOR VUA TREE<br>DECIDUOUS TREE (LIST A)<br>CALIPER: 2.5" MIN.<br>Acer rubrum / Red Maple<br>Acer saccharum / Sugar Maple<br>Eucommia ulmoides / Hardy Rubber Tree<br>Ginkgo biloba / Maidenhair Tree<br>Gleditsia triacanthos f. inermis / Thornless Honey Locust<br>Liquidambar styraciflua 'Rotundiloba' / Round-Lobed Sweet Gum<br>Tilia cordata / Littleleaf Linden<br>Zelkova serrata / Japanese Zelkova | 85 | B & B<br>B & B |

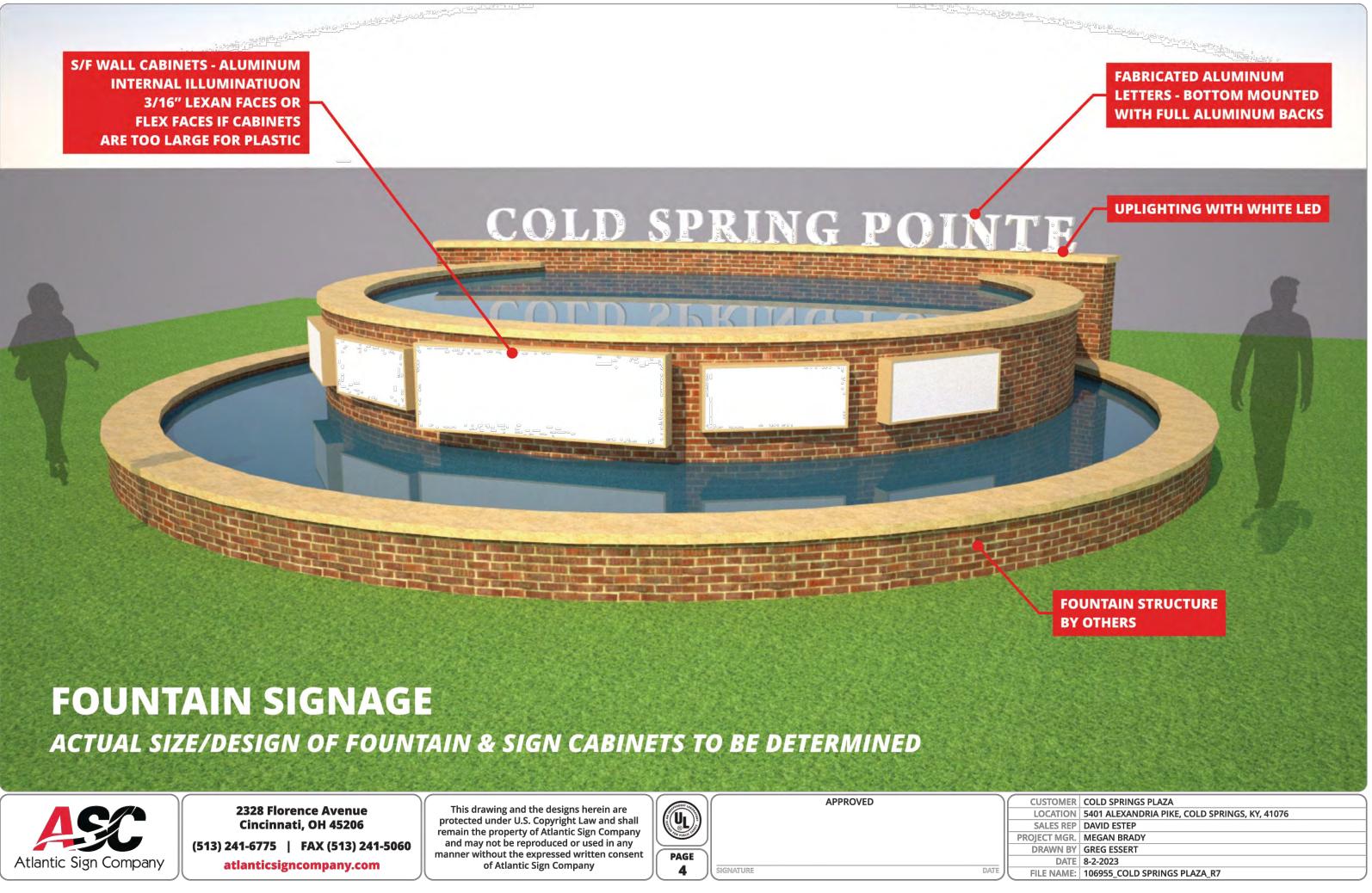
\* NOTE: A DIVERSITY OF TREE SPECIES WILL BE PROVIDED WITH NO MORE THAN 25% OF A SINGLE SPECIES. ACTUAL SPECIES ARE SUBJECT TO CHANGE, ADDITIONAL SPECIES MAY BE PROVIDED.

| (                    | Basis of Bearing:<br>State Plane NAD83 (2011)<br>0 50 75<br>SCALE: 1" = 50'                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                    |                   |                           |   |   |                          |     |                          |                    |
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|                      |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                |                   |                           |   |   |                          |     |                          |                    |
| Date Drwn: Chk:      | 08-04-23 LEM HMW                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                               |                   |                           |   |   |                          |     |                          |                    |
| Revision Description |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                |                   |                           |   |   |                          |     |                          |                    |
| Item                 | 1 ISSUED TO CC P & Z                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                           | 2                 | 3                         | 4 | 5 | 9                        | 2   | 8                        | 6                  |
|                      | COLD SPRING POINTE                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                             |                   | SIAGE II DEVELOPMENI PLAN |   |   | CAMPREIL COUNTY KENTICKY |     | DETAILED LANDSCADE DLAN  |                    |
|                      | The second secon |                   |                           |   |   |                          |     |                          |                    |
| Dra<br>Dra<br>Che    | wing<br>wn t<br>ecke<br>ie D<br>eet:                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                           | j:<br>oy:<br>d By |                           | 2 |   |                          | 008 | 59 L<br>LE<br>HM<br>-4-: | <u>A</u><br>M<br>W |







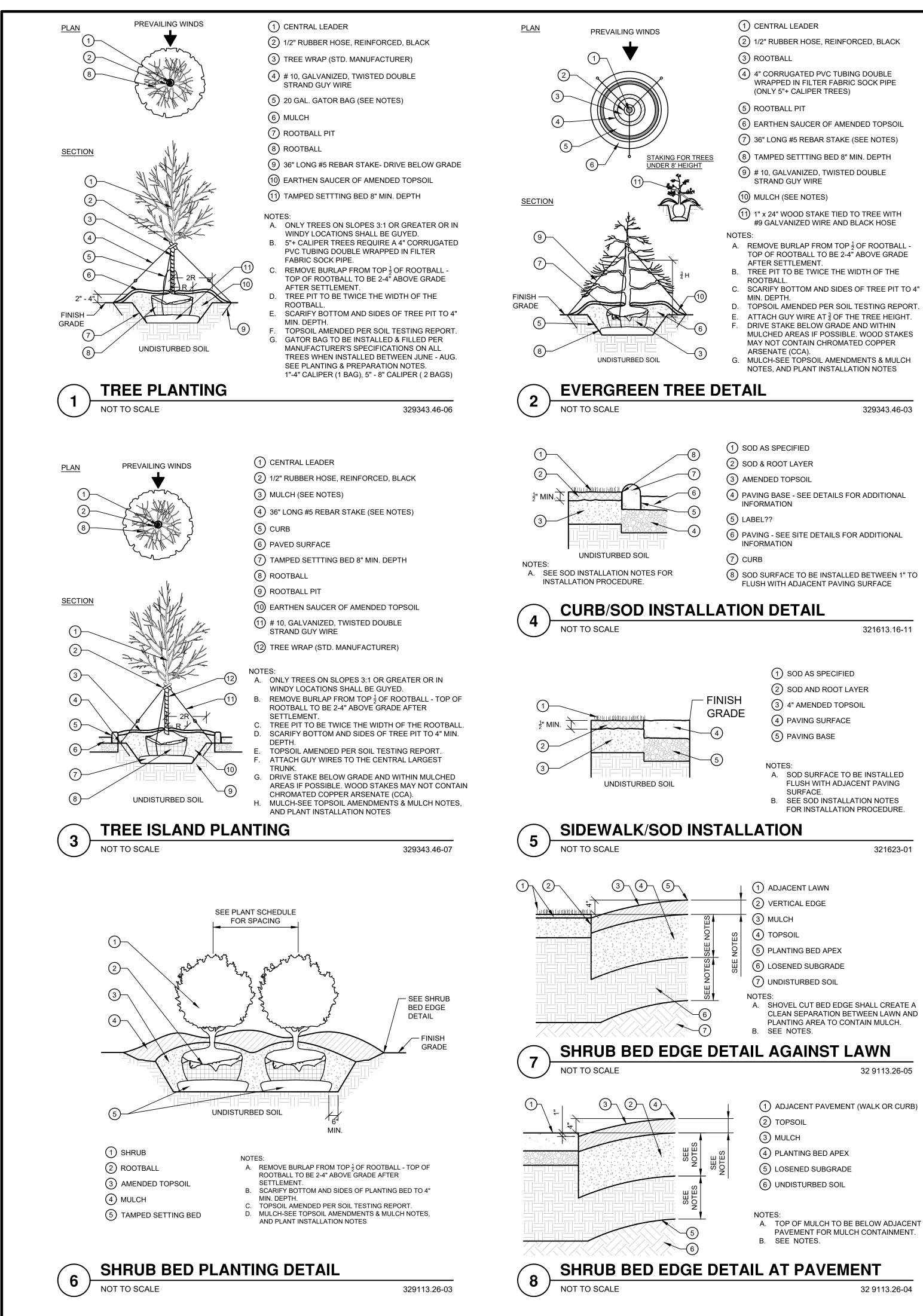




MONUMENT SIGN DETAILS

# SIGNAGE REQUIREMENTS CITY OF COLD SPRING, KENTUCKY, ZONING RESOLUTION PROPOSED ZONING: MUPD (MIXED USED PLANNED DEVELOPMENT) & HC-2 (HIGHWAY COMMERCIAL 2) - 4 OUTLOTS AND GAS STATION PROPOSED PYLON AND MONUMENT SIGNS LOCATED IN MUPD ZONE PERMITTED USE AND LOCATION OF SIGNS (SECTION 14.6) ZONE MUPD ALLOWED SIGNS • AS APPROVED ACCORDING IN STAGE I AND STAGE II DEVELOPMENT PLANS • SIGN HEIGHT AND SIZE TO BE APPROVED PROPOSED PYLON SIGN: POLE SIGN DOUBLE FACED • PROPOSED MAXIMUM AREA FOR SINGLE SIGN: 100 SF • PROPOSED MAXIMUM HEIGHT: 40' • TENANT SIGNS: INTERNALLY ILLUMINATED COMPLEX SIGN: EXTERNALLY ILLUMINATED **PROPOSED MONUMENT SIGN:** GROUND SIGN SINGLE FACED • PROPOSED MAXIMUM AREA FOR SINGLE SIGN: 100 SF • PROPOSED MAXIMUM HEIGHT: 20' • TENANT SIGNS: INTERNALLY ILLUMINATED • COMPLEX SIGN: EXTERNALLY ILLUMINATED NOTE: SEE SHEET L2.0 FOR SIGNAGE LOCATIONS 4 шФ LD SPRING POINT II DEVELOPMENT / OF COLD SPRING LL COUNTY, KENTUCKY СО С С С С S .3.(

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G. MULCH-SEE TOPSOIL AMENDMENTS & MULCH

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321613.16-11

321623-01

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- - (8) SOD SURFACE TO BE INSTALLED BETWEEN 1" TO FLUSH WITH ADJACENT PAVING SURFACE

- 32 9113.26-05
- - A. TOP OF MULCH TO BE BELOW ADJACENT PAVEMENT FOR MULCH CONTAINMENT.

32 9113.26-04

# **GENERAL LANDSCAPE NOTES**

- A. THE CONTRACTOR SHALL VISIT THE SITE AND COMPLETELY REVIEW THESE DOCUMENTS AND FULLY UNDERSTAND THE NATURE AND SCOPE OF WORK NEEDED TO ACHIEVE THE FINISHED PRODUCT INTENDED BY THE OWNER. IN ADDITION, THE CONTRACTOR SHALL AT ONCE REPORT TO THE LANDSCAPE ARCHITECT, INACCURACIES OR INCONSISTENCIES DISCOVERED. FAILURE TO REASONABLY RECOGNIZE OR NOTIFY THE LANDSCAPE ARCHITECT OF SUCH ITEMS SHALL RELEASE THE LANDSCAPE ARCHITECT AND OWNER OF ALL LIABILITY. ANY DEVIATIONS FROM THESE DOCUMENTS WITHOUT WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT SHALL BE CORRECTED AT THE CONTRACTORS EXPENSE.
- B. PROTECT ALL EXISTING VEGETATION TO REMAIN WITHIN 20' OF CONSTRUCTION DISTURBANCE AS PER PLANS AND SPECIFICATIONS. INSTALL MINIMUM 4' TALL FENCE 5' OUTSIDE THE DRIP LINE OF TREES TO REMAIN. WATER TREES AND VEGETATION TO REMAIN WITH ONE INCH OF RAIN (RAIN GAUGE OR NOAH LOCAL WEATHER VERIFIED) PER WEEK FOR DURATION OF CONSTRUCTION PROJECT.
- C. PRIOR TO CONSTRUCTION. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS NECESSARY TO COMPLETE THE WORK, LOCATING ALL UNDERGROUND UTILITIES, AND SHALL AVOID DAMAGE TO ALL UTILITIES DURING INSTALLATION. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ALL DAMAGE TO UTILITIES, STRUCTURES, SITE APPURTENANCES, ETC., WHICH MAY OCCUR AS A RESULT OF LANDSCAPE CONSTRUCTION.
- D. CONTRACTOR MUST CERTIFY THAT ITS SAFETY PROGRAM MEETS REGULATORY REQUIREMENTS AT A MINIMUM CONTRACTOR TO PROVIDE DOCUMENTATION OF THE OSHA RECORD KEEPING SUMMARY E. LANDSCAPE ARCHITECT MAY OBSERVE TREES AND SHRUBS EITHER AT PLACE OF GROWTH OR SITE BEFORE
- PLANTING FOR COMPLIANCE WITH REQUIREMENTS FOR GENUS, SPECIES, VARIETY, SIZE, AND QUALITY, LANDSCAPE ARCHITECT RETAINS RIGHT TO OBSERVE TREES AND SHRUBS FURTHER FOR SIZE AND CONDITION OF BALLS, ROOT SYSTEMS, INSECTS, INJURIES, AND LATENT DEFECTS AND TO REJECT UNSATISFACTORY OR DEFECTIVE MATERIAL AT ANY TIME DURING PROGRESS OF WORK. LANDSCAPE CONTRACTOR SHALL REMOVE REJECTED TREES OR SHRUBS IMMEDIATELY FROM PROJECT SITE.
- F. IF EXISTING ECOLOGY CAUSES ADJUSTMENTS OF LANDSCAPE PLANS TO FIT THE SITE CONDITIONS, A STAKE OUT BY LANDSCAPE CONTRACTOR AND ADJUSTMENTS BY LANDSCAPE ARCHITECT SHALL BE REQUIRED PRIOR TO INSTALLATION.
- G. ALL PLANTING AREAS SHOWN ON PLANS SHALL BE TO WITHIN 2" OF FINAL GRADE BEFORE LANDSCAPE CONTRACTOR COMMENCES INSTALLATION.
- H. LANDSCAPE CONTRACT IS RESPONSIBLE FOR COORDINATING WITH OTHER CONTRACTORS AND/OR LOCATING PROPOSED SITE UTILITIES, STORM STRUCTURES, EASEMENTS, ETC. I. ALL PLANT MATERIAL MUST BE INSTALLED ACCORDING TO THE APPROVED LANDSCAPING PLAN BY NO LATER
- THAN THE NEXT PLANTING SEASON OR WITHIN 6 MONTHS FROM THE COMPLETION OF ALL SITE CONSTRUCTION J. CONTRACTOR TO VERIFY ALL PLANT QUANTITIES. ANY DISCREPANCY BETWEEN THE PLANTING LIST AND THE PLAN SHALL BE VERIFIED BY THE LANDSCAPE ARCHITECT. ALL SUBSTITUTIONS AND/OR CHANGES SHALL BE REQUESTED IN WRITING TO THE OWNER OR OWNER'S REPRESENTATIVE AND BE APPROVED BY THE LANDSCAPE
- ARCHITECT AND THE LOCAL MUNICIPALITY (IF REQUIRED) PRIOR TO INSTALLATION. K. THE CONTRACTOR SHALL PROVIDE QUALITY, SIZE, GENUS, SPECIES, AND VARIETY OF EXTERIOR PLANTS INDICATED. COMPLYING WITH APPLICABLE REQUIREMENTS IN ANSI Z60.1. "AMERICAN STANDARD FOR NURSERY STOCK."
- L. THE CONTRACTOR SHALL FURNISH NURSERY-GROWN TREES AND SHRUBS COMPLYING WITH ANSI Z60.1, WITH HEALTHY ROOT SYSTEMS DEVELOPED BY TRANSPLANTING OR ROOT PRUNING. PROVIDE WELL-SHAPED, FULLY BRANCHED, HEALTHY, VIGOROUS STOCK, FREE OF DISEASE, INSECTS, EGGS, LARVAE, AND DEFECTS SUCH AS KNOTS, SUN SCALD, INJURIES, ABRASIONS, AND DISFIGUREMENT.
- M. TREES AND SHRUBS OF A LARGER SIZE MAY BE USED, IF ACCEPTABLE TO LANDSCAPE ARCHITECT, WITH A PROPORTIONATE INCREASE IN SIZE OF ROOTS OR BALLS.
- N. IF FORMAL ARRANGEMENTS OR CONSECUTIVE ORDER OF TREES OR SHRUBS IS SHOWN, SELECT STOCK FOR UNIFORM HEIGHT AND SPREAD, AND NUMBER LABEL TO ASSURE SYMMETRY IN PLANTING.
- O. THE CONTRACTOR SHALL LABEL ONE TREE AND ONE SHRUB OF EACH VARIETY AND CALIPER WITH A SECURELY ATTACHED, WATERPROOF TAG BEARING LEGIBLE DESIGNATION OF BOTH THE BOTANICAL AND COMMON NAME. P. PLANT TAGS SHALL REMAIN ON INSTALLED PLANT MATERIAL UNTIL THE WORK HAS BEEN APPROVED BY LOCAL
- INSPECTOR AND/OR THE OWNER OR OWNER'S REPRESENTATIVE. Q. LANDSCAPE CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE FROM ALL PLANT BEDS WITHOUT ADVERSELY
- AFFECTING SITE DRAINAGE. GRADES BEHIND CURBS FOR AREAS TO RECEIVE MULCH SHALL BE HELD 4 INCHES BELOW TOP OF CURB AND 2 INCHES BELOW TOP OF CURB FOR SOD. R. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR FULLY MAINTAINING, INCLUDING, BUT NOT LIMITED TO,
- WATERING, SPRAYING, MULCHING, FERTILIZING, ETC., ALL PLANTING AREAS AND LAWN UNTIL THE WORK IS ACCEPTED BY THE OWNER OR THE OWNER'S REPRESENTATIVE. S. CONTRACTOR TO RUN PERCOLATION TESTS TO ASSURE PROPER DRAINAGE IN PLANTING AREAS.
- T. ADDITIONAL ROCK EXCAVATION AND TOPSOIL MAY BE REQUIRED TO OBTAIN SPECIFIED PLANTING DEPTHS FOR ROOT COVERAGE BASED ON SITE CONDITIONS. U. IF IRRIGATION IS PART OF THE PROJECT, THE LANDSCAPE CONTRACTOR SHALL COORDINATE THE LOCATION OF
- ALL PLANT MATERIAL WITH THE IRRIGATION CONTRACTOR. ACTIVATE IRRIGATION SYSTEM UPON COMPLETION OF ALL LAWN AREAS. V. ALL IRRIGATION COMPONENTS SHALL BE OF THE SAME MANUFACTURER & INSTALLED PER MANUFACTURER'S
- SPECIFICATIONS.

- A. STRIP TOPSOIL TO ITS FULL DEPTH AT AREAS IMPACTED AND AT ALL AREAS TO BE RE-GRADED AND RESURFACED. STOP TOPSOIL STRIPPING OUTSIDE THE DRIP LINE OF TREES TO REMAIN / DO NOT STRIP AS TO IMPACT THE ROOD LINE OF TREES TO REMAIN.
- B. COORDINATE WITH THE OWNER PRIOR TO ESTABLISHING TOPSOIL STORAGE AREAS. GRADE AND SLOPE STOCKPILES FOR PROPER DRAINAGE AND TO PREVENT EROSION. THE REUSE OF STOCKPILE TOPSOIL WITHIN THE PROJECT SITE MUST BE APPROVED FOR PLACEMENT BY THE LANDSCAPE ARCHITECT.
- C. ALL TOPSOIL SHALL BE SHREDDED, CLEAN, AND UNIFORM IN QUALITY FREE FROM HARD CLODS, STIFF CLAY PARTIALLY DISINTEGRATED STONE, LIME, CEMENT, SLAG, OR OTHER UNDESIRABLE MATERIAL. TOPSOIL SHALL CONFORM TO THE FOLLOWING: - ORGANIC CONTENT - BETWEEN 3% - 10% ORGANIC MATTER
  - pH SHALL RANGE BETWEEN 6.0 7.5
  - SOIL TEXTURE TOPSOIL SHALL CONSIST OF THE FOLLOWING PERCENTAGES OF SAND, SILT, AND CLAY
- PASSING THROUGH A 2.00 MM (#10) SIEVE (SAND 30%-75%, SILT 15%-70%, CLAY 10%-30%) D. TOPSOIL MUST BE APPROVED PRIOR TO PLACEMENT. TOPSOIL TEXT RESULTS SHALL SHOW RECOMMENDATION
- FOR SOIL ADDITIVES FOR FERTILIZERS TO CORRECT NUTRIENT DEFICIENCIES AS NECESSARY INORGANIC SOIL AMENDMENTS INCLUDE THE FOLLOWING: Ε. - LIME - ASTM C 602, AGRICULTURAL LIMING MATERIAL CONTAINING A MINIMUM OF 80%
  - CALCIUM CARBONATE EQUIVALENT AS FOLLOWS: a. PROVIDE LIME IN FORM OF GROUND DOLOMITIC LIMESTONE PER ASTM 605, CONTAINING NO LESS THAN 85% OF TOTAL CARBONATES AND SHALL BE GROUND TO SUCH A FINENESS THAT 50% WILL PASS THROUGH A 100 MESH SIEVE AND 90% WILL PASS THROUGH A MESH SIEVE. COARSER MATERIAL WILL BE ACCEPTABLE, PROVIDED THE SPECIFIED RATES OF APPLICATION ARE INCREASED PROPORTIONALLY ON THE BASIS OF QUANTITIES PASSING THE 100 MESH SIEVE.
- SULFUR GRANULAR, BIODEGRADABLE, AND CONTAINING A MINIMUM OF 90% SULFUR, WITH A MINIMUM OF 99% PASSING THROUGH NUMBER 6 SIEVE AND A MAXIMUM OF 10% PASSING THROUGH A NUMBER 40 SIEVE. - AXIS CALCINED DIATOMACEOUS EARTH SOIL AMENDMENT - SEE PREPARATION AND PLANTING NOTES FOR APPLICATION RATES.
- F. ORGANIC MULCH FREE FROM DELETERIOUS MATERIALS AND SUITABLE AS A TOP DRESSING OF TREES AND SHRUBS, CONSISTING OF ONE DOUBLE SHREDDED HARDWOOD BARK.

# PLANTING PREPARATION

- A. EXAMINE AREAS TO RECEIVE PLANTS FOR COMPLIANCE WITH REQUIREMENTS AND CONDITIONS AFFECTING INSTALLATION AND PERFORMANCE. PROCEED WITH INSTALLATION ONLY AFTER UNSATISFACTORY CONDITIONS ARE CORRECTED
- B. PROTECT STRUCTURES, UTILITIES, SIDEWALKS, PAVEMENTS, AND OTHER FACILITIES AND TURF AREAS AND EXISTING PLANTS FROM DAMAGE CAUSED BY PLANTING OPERATIONS
- C. INSTALL EROSION-CONTROL MEASURES TO PREVENT EROSION OR DISPLACEMENT OF SOILS AND DISCHARGE OF SOIL-BEARING WATER RUNOFF OR AIRBORNE DUST TO ADJACENT PROPERTIES AND WALKWAYS. D. APPLY ANTIDESICCANT TO TREES AND SHRUBS USING POWER SPRAY TO PROVIDE ADEQUATE FILM OVER
- TRUNKS (BEFORE WRAPPING), BRANCHES, STEMS, TWIGS, AND FOLIAGE TO PROTECT DURING HANDLING AND TRANSPORTATION. IF DECIDUOUS TREES OR SHRUBS ARE MOVED IN FULL LEAF, SPRAY ANTIDESICCANT AT NURSERY BEFORE MOVING AND AGAIN TWO (2) WEEKS AFTER PLANTING.
- E. WRAP TREES AND SHRUBS WITH BURLAP FABRIC OVER TRUNKS, BRANCHES, STEMS, TWIGS, AND FOLIAGE TO PROTECT FROM WIND AND OTHER DAMAGE DURING DIGGING, HANDLING, AND TRANSPORTATION.
- F. LAY OUT INDIVIDUAL TREE AND SHRUB LOCATIONS AND BED EDGES FOR ALL EXTERIOR PLANTINGS. STAKE LOCATIONS, OUTLINE AREAS, ADJUST LOCATIONS WHEN REQUESTED, AND OBTAIN LANDSCAPE ARCHITECT'S. OWNER'S, OR OWNER REPRESENTATIVE'S WRITTEN ACCEPTANCE OF LAYOUT PRIOR TO PLANTING. TREES SHALL BE SITED IN THE FIELD BY THE LANDSCAPE ARCHITECT WHERE NOTED ON THE PLAN. CONTACT THE LANDSCAPE ARCHITECT WITH ANY DISCREPANCIES OR ISSUES WITH PLACEMENT.

# WARRANTY

- A. CONTRACTOR SHALL PROVIDE OWNER WITH A MINIMUM ONE YEAR WRITTEN WARRANTY FOR LABOR AND MATERIALS
- B. CONTRACTOR SHALL WARRANT EXTERIOR PLANTS AGAINST DEFECTS, INCLUDING DEATH AND UNSATISFACTORY GROWTH, EXCEPT FOR DEFECTS RESULTING FROM LACK OF ADEQUATE MAINTENANCE,
- NEGLECT OR ABUSE BY OWNER, OR INCIDENTS THAT ARE BEYOND CONTRACTOR'S CONTROL C. WARRANTY SHALL INCLUDE SPECIFIC WARRANTY PERIODS FROM DATE OF ACCEPTANCE FOR TREES AND SHRUBS, GROUND COVERS, AND OTHER EXTERIOR PLANTS.
- D. WARRANTY SHALL BE LIMITED TO ONE REPLACEMENT OF EACH EXTERIOR PLANT, EXCEPT FOR LOSSES OR REPLACEMENTS DUE TO FAILURE OF CONTRACTOR TO COMPLY WITH REQUIREMENTS.
- WARRANTY FOR IRRIGATION SERVICE. PLUMBING. & DRAINAGE SHALL BE GUARANTEED FOR A PERIOD OF 1 YEAR AND WILL INCLUDE START-UP, WINTERIZATION, AND SECOND SEASON START-UP. WARRANTY SHALL INCLUDE ALL LABOR, MATERIAL, TOOLS, AND EQUIPMENT AS NECESSARY TO PROVIDE A FUNCTIONING SYSTEM, FREE FROM DEFECTS AND ADJUSTED PROPERLY FOR APPROPRIATE WATER DELIVERY TO ALL PLANT MATERIAL.

# **TRAFFIC & SAFETY**

A. REFER TO BID DOCUMENTS AND COMPLY WITH ALL STATE & LOCAL REQUIREMENTS REGARDING APPROVED WORK TIMES, SCHEDULING OF INSTALLATION, AND ALL OTHER REQUIREMENTS.

- - **TOPSOIL, AMENDMENTS & MULCH**

### PLANT INSTALLATION A. LOOSEN SUBGRADE OF PLANTING AREAS TO A DEPTH OF TWELVE (12) INCHES. REMOVE STONES LARGER THAN ONE (1) INCH IN ANY DIMENSION, STICKS, RUBBISH, AND OTHER EXTRANEOUS MATTER AND LEGALLY DISPOSE OF THEM OFF OF THE OWNER'S PROPERTY B. APPLY FERTILIZER DIRECTLY TO THE SUBGRADE BEFORE LOOSENING. C. SPREAD TOPSOIL, APPLY SOIL AMENDMENTS AND FERTILIZER ON SURFACE, AND THOROUGHLY BLEND PLANTING SOIL. APPLY TURFMATRIX SOIL AMENDMENT AT THE FOLLOWING RATES: 2" DEEP BEDS - 450 LBS / 1000 SF; 4" DEEP BEDS - 900 LBS / 1000 SF; 6" DEEP BEDS - 1,300 LBS / 1000 SF; 8" DEEP BEDS - 1,750 LBS / 1000 SF DELAY MIXING FERTILIZER WITH PLANTING SOIL IF PLANTING WILL NOT PROCEED WITHIN A FEW DAYS. MIX LIME WITH DRY SOIL PRIOR TO MIXING FERTILIZER. SPREAD TOPSOIL TO A DEPTH OF (6) SIX INCHES FOR LAWN OR (12) TWELVE INCHES FOR BEDS BUT NOT LESS THAN REQUIRED TO MEET FINISH GRADES AFTER NATURAL SETTLING. DO NOT SPREAD IF PLANTING SOIL IF SUBGRADE IS FROZEN, MUDDY, OR EXCESSIVELY WET. G. GRADE PLANTING AREAS TO A SMOOTH, UNIFORM, SURFACE PLANE WITH LOOSE, UNIFORMLY FINE TEXTURE. ROLL AND RAKE, REMOVE RIDGES, AND FILL DEPRESSION TO MEET FINISH GRADES. RESTORE PLANTING AREAS IF ERODED OR OTHERWISE DISTURBED AFTER FINISH GRADING FOR PLANTING PITS AND TRENCHES, EXCAVATE CIRCULAR PLANTING PITS WITH SIDES SLOPING INWARD AT A FORTY-FIVE (45) DEGREE ANGLE. EXCAVATIONS WITH VERTICAL SIDES ARE NOT ACCEPTABLE. TRIM PERIMETER OF BOTTOM LEAVING THE CENTER AREA OF THE BOTTOM RAISED 8" TO SUPPORT THE ROOT BALL AND ASSIST WITH DRAINAGE AWAY FROM THE CENTER. DO NOT FURTHER DISTURB THE BASE. ENSURE THAT THE ROOT BALL WILL SIT ON UNDISTURBED BASE SOIL TO PREVENT SETTLING. SCARIFY SIDES OF THE PLANTING PIT SMEARED OR SMOTHERED DURING EXCAVATION - EXCAVATE APPROXIMATELY TWO (2) TIMES THE DIAMETER OF THE ROOT BALL FOR BALLED AND BURLAPPED STOCK. - FOR BARE ROOT STOCK, EXCAVATE AT LEAST TWELVE (12) INCHES WIDER THAN THE ROOT SPREAD AND DEEP ENOUGH TO ACCOMMODATE VERTICAL ROOTS - IF DRAIN TILE IS SHOWN ON DRAWINGS OR DETAILS, OR REQUIRED UNDER PLANTING AREAS, EXCAVATE TO TOP OF POROUS BACKFILL OVER TILE. SUBSOIL AND TOPSOIL REMOVED FROM EXCAVATION MAY BE USED AS PLANTING SOIL PROVIDED IT IS FREE FROM ROCKS AND OTHER DELETERIOUS MATERIAL. . NOTIFY LANDSCAPE ARCHITECT IF UNEXPECTED ROCK OR OBSTRUCTIONS DETRIMENTAL TO TREES OR SHRUBS ARE ENCOUNTERED IN EXCAVATIONS. NOTIFY LANDSCAPE ARCHITECT IF SUBSOIL CONDITIONS EVIDENCE UNEXPECTED WATER SEEPAGE OR RETENTION IN TREE OR SHRUB PLANTING PITS. M. FILL EXCAVATIONS WITH WATER AND ALLOW TO PERCOLATE AWAY BEFORE POSITIONING TREES AND SHRUBS. N. INSTALL PLANTS - REFER TO TYPICAL PLANTING DETAILS ON THIS SHEET FOR PLANT INSTALLATION. O. IT IS THE CONTRACTOR'S OPTION WHETHER OR NOT TO STAKE A TREE UNDER 5" CALIPER, BUT IT IS ALSO THE CONTRACTOR'S RESPONSIBILITY TO ASSURE THAT PLANTS REMAIN IN AN UPRIGHT POSITION UNTIL THE END OF THE WARRANTY PERIOD, AT WHICH POINT ANY STAKES & WIRE ARE TO BE REMOVED BY THE CONTRACTOR. P. ALL DECIDUOUS TREES SHALL BE WRAPPED WITH STANDARD MANUFACTURER'S TREE WRAP TO PREVENT WINTER DAMAGE. TREE WRAP TO BE REMOVED AFTER THE FIRST WINTER BY THE LANDSCAPE CONTRACTOR. Q. LANDSCAPE CONTRACTOR SHALL INSTALL GATOR BAGS, PER MANUFACTURER'S RECOMMENDATION FOR ALL TREES THAT ARE NOT OTHERWISE IRRIGATED. R. PRIOR TO MULCHING, APPLY PRE-EMERGENT HERBICIDE (PREEN OR EQUIVALENT) PER MANUFACTURER'S RECOMMENDATION. S. IF NOTED ON PLAN TO USE WEED CONTROL FABRIC, INSTALL WEED CONTROL ACCORDING TO MANUFACTURER'S WRITTEN INSTRUCTIONS. COMPLETELY COVER AREA TO RECEIVE FABRIC, OVERLAPPING EDGES A MINIMUM OF SIX (6) INCHES, SECURE THE SEAMS WITH GALVANIZED PINS. PINS TO BE 8" -10" APART ALONG EDGES AND 12" MIN. IN CENTER. MULCH BACKFILLED SURFACES OF PLANTING AREAS AND OTHER AREAS AS INDICATED. U. APPLY MULCH ACCORDING TO THE FOLLOWING: - DO NOT PLACE MULCH WITHIN THREE (3) INCHES OF THE TRUNKS OR STEMS OR VOLCANO MULCH. - FOR TREES AND SHRUBS IN TURF AREAS - APPLY ORGANIC MULCH RING OF FOUR (4) INCH AVERAGE THICKNESS, WITH THIRTY-SIX (36) INCH RADIUS AROUND TRUNKS OR STEMS. - FOR PLANTS IN BEDS, APPLY ORGANIC MULCH TWO (2) INCH AVERAGE THICKNESS AND EXTENDING TWELVE (12) INCHES BEYOND THE EDGES OF INDIVIDUAL PLANTING PIT OR TRENCH AND OVER THE WHOLE SURFACE OF THE PLANTING AREA, AND FINISH LEVEL WITH ADJACENT FINISH GRADES. V. THE LANDSCAPE CONTRACTOR SHALL INSTRUCT THE OWNER OR OWNER REPRESENTATIVE ON WATERING NEEDS OF INSTALLED PLANTINGS. SEEDING / SOD PREPARATION A. DE-COMPACT AREAS HEAVILY TRAFFICKED BY CONSTRUCTION ACTIVITIES WITH HOE OR OTHER APPROVED METHOD. B. GRADE SURFACES TO ASSURE DRAINAGE AWAY FROM STRUCTURES AND TO PREVENT PONDING AND POCKETS OF SURFACE DRAINAGE. PROVIDE SUBGRADE FREE FROM IRREGULAR SURFACE CHANGES AND AS FOLLOWS: - ROUGH GRADE SHALL EQUAL PLUS / MINUS TWO TENTHS (0.20) FEET, SUBGRADE TOLERANCE AND SHALL BE FREE OF EXPOSED BOULDERS OR STONE EXCEEDING ONE (1) INCH IN GREATEST DIMENSION. - FILL IN ALL AREAS OF SETTLEMENT TO PROPER GRADE BEFORE SUBSEQUENT PLACEMENT OF TOPSOIL. C. PLACE TOPSOIL A MINIMUM OF SIX (6) INCHES AVERAGE DEPTH. D. GRADE AREA TO A SMOOTH, FREE DRAINING EVEN SURFACE WITH A LOOSE, MODERATELY COURSE TEXTURE. ROLL, SCARIFY, RAKE, AND LEVEL AS NECESSARY TO OBTAIN A TRUE, EVEN LAWN SURFACE AND FILL DEPRESSIONS AS REQUIRED TO DRAIN. SEED BED TO BE APPROXIMATELY ONE HALF (½) TO ONE (1) INCH BELOW ALL SIDEWALKS AND CURBS. DO NOT MOVE HEAVY OBJECTS EXCEPT NECESSARY LAWN MAKING EQUIPMENT OVER LAWN AREAS AFTER THE SOIL IS PREPARED UNLESS IT IS LOOSENED AND RE-GRADED. RESTORE PREPARED AREAS TO SPECIFIED CONDITIONS IF ERODED, SETTLED, OR OTHERWISE DISTURBED. E. APPLY TYPE A / STARTER FERTILIZER TO INDICATED TURF AREAS AT A RATE EQUAL TO ONE (1) POUND OF ACTUAL NITROGEN PER ONE THOUSAND (1.000) SQUARE FEET OR AS OTHERWISE INDICATED. APPLY FERTILIZERS BY MECHANICAL DROP OR ROTARY DISTRIBUTOR, THOROUGHLY AND EVENING INCORPORATED WITH THE SOIL TO A 1 DEPTH OF THREE (3) INCHES BY DICING OR OTHER APPROVED METHOD. FERTILIZE AREAS INACCESSIBLE TO POWER EQUIPMENT WITH HAND TOOLS AN INCORPORATE INTO THE SOIL F. ACCEPTABLE SEEDING TIMES: SPRING SEED PLANTING - APRIL 1 TO JUNE 1; FALL SEED PLANTING - AUG. 15 TO OCT. 1 шФ SEED INSTALLATION ZZ A. LANDSCAPE CONTRACTOR SHALL SEED ALL DISTURBED AREAS. THE FINAL GRADE AND TOPSOIL WITHIN +/- .10 FEET РО WILL BE IN PLACE FOR SEEDING CONTRACTOR. B. CONTRACTOR SHALL APPLY CELLULOSE FIBER MULCH AT A MINIMUM RATE OF 1500 LBS./ACRE AND FERTILIZERS: BEST 6-20-20 OR BEST 15-15-15 OR APPROVED EQUAL APPLIED AT RATE APPROPRIATE FOR PRODUCT. ORGANIC GG TACKIFIER SHALL BE APPLIED AT RATE OF 70 LBS./ACRE. HYDROSEED SEED MIX SHALL BE APPLIED AT THE 2,000 LBS./ACRE 0 C. CONTRACTOR SHALL WATER ALL PLANT AREAS THOROUGHLY TO SATURATE UPPER LAYERS OF SOIL PRIOR TO THE HYDROSEEDING OPERATION. ALLOW THE PLANTING AREA SOIL SURFACE TO DRY OUT FOR ONE DAY ONLY PRIOR TO THE HYDROSEEDING APPLICATION. СШ D. CONTRACTOR SHALL APPLY THE HYDROSEEDING IN THE FORM OF A SLURRY CONSISTING OF ORGANIC SOIL <u>ב</u> ב AMENDMENTS, COMMERCIAL FERTILIZER, AND ANY OTHER CHEMICALS THAT ARE CALLED OUT. WHEN HYDRAULICALLY SPRAYED ONTO THE SOIL, THE MULCH SHALL FORM A BLOTTER-LIKE MATERIAL. SPRAY THE AREA SШ WITH A UNIFORM VISIBLE COAT, USING THE DARK COLOR OF THE CELLULOSE FIBER AS A VISUAL GUIDE. THE SLURRY SHALL BE APPLIED IN A DOWNWARD DRILLING MOTION VIA A FAN STREAM NOZZLE. CONTRACTOR SHALL INSURE THAT ALL OF THE SLURRY COMPONENTS ENTER AND MIX WITH THE SOIL E. IF SLURRY COMPONENTS ARE LEFT FOR MORE THAN TWO HOURS IN THE MACHINE, ADD 50% MORE OF THE ORIGINALLY SPECIFIED SEED MIX TO ANY SLURRY MIXTURE WHICH HAS NOT BEEN APPLIED WITHIN THE TWO HOURS ОШ AFTER MIXING. ADD 75% MORE OF THE ORIGINAL SEED MIX TO ANY SLURRY MIXTURE WHICH HAS NOT BEEN APPLIED EIGHT (8) HOURS AFTER MIXING. ALL MIXTURES MORE THAN EIGHT (8) HOURS OLD, SHALL BE DISPOSED, OFFSITE, AT C) C THE CONTRACTOR'S EXPENSE F. CONTRACTOR SHALL REMOVE ALL SLURRY SPRAYED ONTO HARDSCAPE AREAS INCLUDING CONCRETE WALKS, FENCES, WALLS, BUILDINGS, ETC. AT THE CONTRACTOR'S EXPENSE. G. CONTRACTOR SHALL SAVE ALL SEED AND FERTILIZER TAGS AND FIBER MULCH BAGS FOR THE LANDSCAPE ARCHITECT TO VERIFY COMPLIANCE WITH THE DRAWINGS AND SPECIFICATIONS. **IRRIGATION (IF APPLICABLE)** A. FURNISH ALL DESIGN, LABOR, MATERIALS, AND EQUIPMENT FOR THE PROPER INSTALLATION OF AN IRRIGATION SYSTEM TO SERVICE ALL LAWN AND PLANTED AREAS. B. THE CONTRACTOR SHALL PROVIDE LAYOUT AND DESIGN COORDINATION WITH THE LANDSCAPE REQUIREMENTS OF THE PLANTING TYPES, LOCATIONS AND SHALL INCLUDE WATER SAVING PRODUCTS (LIKE EPA WATERSENSE) AND PRACTICES WHICH DEMONSTRATE THE HIGHEST LEVEL OF PERFORMANCE (WATER SAVING FEATURES). C. SMART CONTROLLERS, HIGH-EFFICIENCY SPRAY NOZZLES, PRESSURE REGULATED HEADS, AND DRIPLINE IN BEDS MUST BE INCORPORATED. INDIVIDUAL SUB-ZONES MUST BE TAILORED TO THE WATERING REQUIREMENTS OF EACH MAJOR PLANT TYPE. UNDER NO CIRCUMSTANCES SHALL ANY TURF AREAS BE WATERED IN COMBINATION WITH PLANT BEDS. SPACING OF ALL SPRINKLER EQUIPMENT SELECTED SHALL NOT EXCEED THE MANUFACTURER'S RECOMMENDATIONS AS PUBLISHED. "HEAD TO HEAD" COVERAGE IS REQUIRED IN ALL TURF AREAS. IRRIGATION CONTRACTOR SHALL PARTICIPATE IN COORDINATION MEETINGS AS REQUIRED WITH THE OWNER'S REPRESENTATIVE AND RELATED PARTIES PRIOR TO COMMENCEMENT OF CONSTRUCTION. THE IRRIGATION SYSTEM IS TO BE INSTALLED BY A CONTRACTOR WHO SPECIALIZES IN IRRIGATION DESIGN AND INSTALLATION AND HAS INSTALLED AT LEAST FIVE (5) PROJECTS OF EQUAL OR COMPARATIVE SIZE AND COMPLEXITY. IRRIGATION WORK SHALL BE PERFORMED BY A SINGLE FIRM, ACCEPTABLE TO THE OWNER'S REPRESENTATIVE AND LICENSED AS A CONTRACTOR IN THE STATE WHERE THE PROJECT IS TO BE INSTALLED THE SYSTEM SHALL BE DESIGNED BY A CERTIFIED EPA WATERSENSE PARTNER, AS FOUND ON THE EPA WATERSENSE WEBSITE, OR MUST BE A MEMBER OF THE IRRIGATION ASSOCIATION (IA), FAIRFAZ, VA, AND HOLD A CID (CERTIFIED DESIGNER DESIGNER) QUALIFICATION. G. REFERENCED STANDARDS: AMERICAN SOCIETY FOR TESTING AND MATERIALS, ANNUAL BOOK OF ASTM STANDARDS, LATEST EDITION. . CODES AND STANDARDS: IRRIGATION DESIGN AND INSTALLATION SHALL COMPLY WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL GOVERNING AGENCY REQUIREMENTS AND TO INDUSTRY STANDARDS. NOTIFY LANDSCAPE ARCHITECT IMMEDIATELY IN WRITING OF ANY DISCREPANCIES, INCONSISTENCIES, OR CONTRADICTORY REQUIREMENTS SUBSTITUTIONS: NO SUBSTITUTIONS FROM THE INITIAL PLAN WILL BE PERMITTED WITHOUT REVIEW AND APPROVAL BY rawn by THE OWNER'S REPRESENTATIVE. REQUESTS MUST BE MADE TWO (2) WEEKS IN ADVANCE OF THE PROJECT START DATE. IN THE EVENT THE CONTRACTOR WISHES TO MAKE SUBSTITUTIONS OF MATERIALS, SUFFICIENT DESCRIPTIVE LITERATURE, NEW DESIGN, AND MATERIAL SAMPLES MUST BE FURNISHED TO ESTABLISH THE MATERIAL AS AN EQUAL SUBSTITUTE, AND THE DESIGN AS FUNCTIONAL. THE PROPOSED MATERIAL SUBSTITUTION MUST MEET THE ORIGINAL DESIGN INTENT AS IT PERTAINS TO WATER CONSERVATION. 8-4-APPROVAL AND SELECTION OF MATERIALS AND WORK: THE SELECTION OF ALL MATERIALS AND THE EXECUTION OF ALL

OPERATIONS REQUIRED UNDER THIS PERFORMANCE SPECIFICATION IS SUBJECT TO THE APPROVAL OF THE OWNER'S REPRESENTATIVE WHO HAS THE RIGHT TO REJECT ANY AND ALL MATERIALS AND ANY AND ALL WORK WHICH, IN THEIR OPINION, DOES NOT MEET THE REQUIREMENTS OF THE CONTRACT DOCUMENTS AT ANY STAGE OF THE OPERATION. REMOVE REJECTED WORK AND MATERIALS FROM PROJECT SITE AND REPLACE PROMPTLY.



FRONT ELEVATION



# E FRONT ELEVATION AREA B

SCALE: 1/8" = 1'-@"







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